

Development Applications

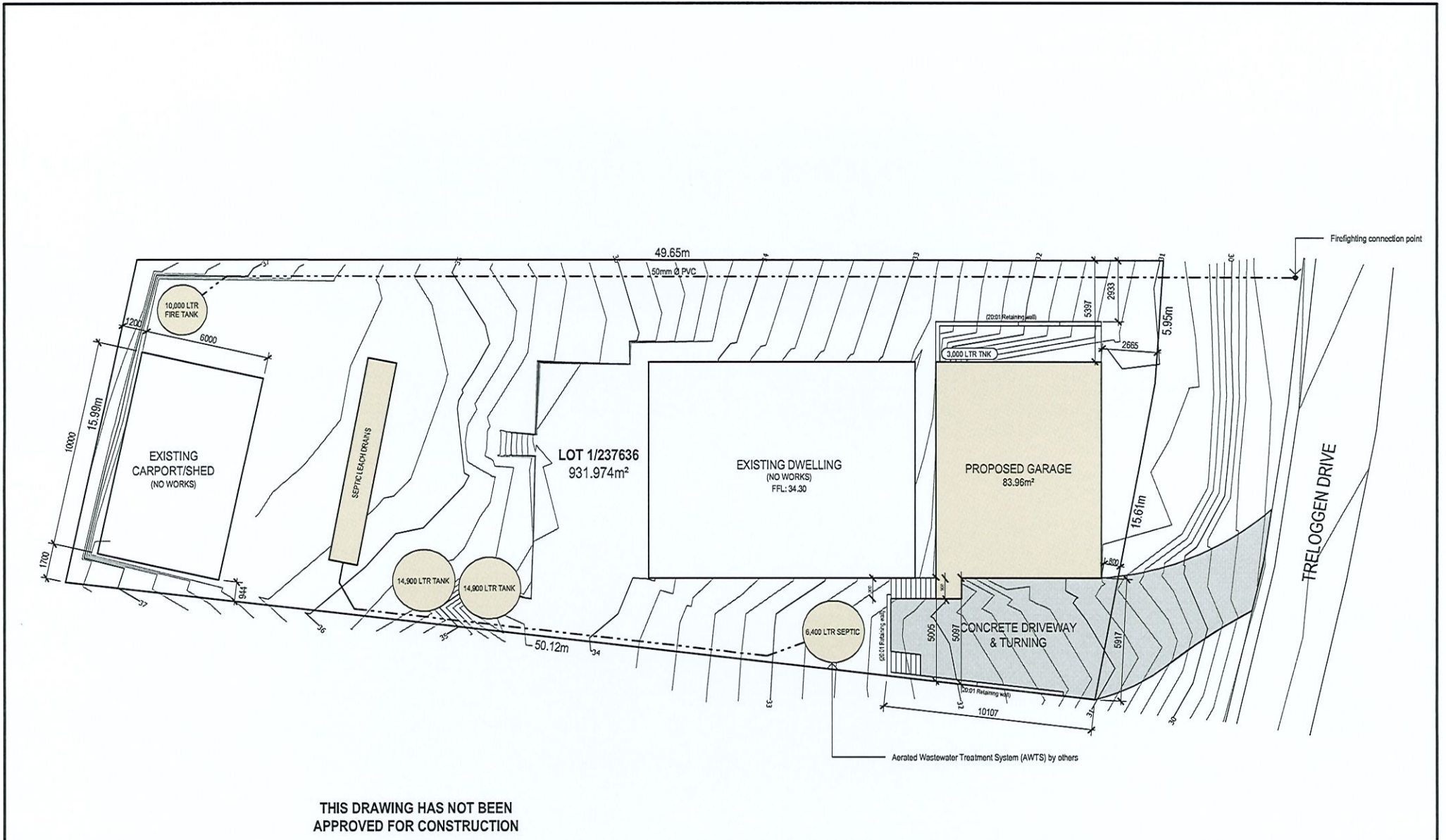
Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2024 / 00169
Applicant	L E Underwood
Proposal	Residential - Shed with Rooftop Deck, Shade Sails & Retaining Wall
Location	25 Treloggen Drive, Binalong Bay

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 26th October, 2024 **until 5pm Monday 11th November, 2024.**

John Brown
GENERAL MANAGER



REV	DESCRIPTION	APP'D	DATE

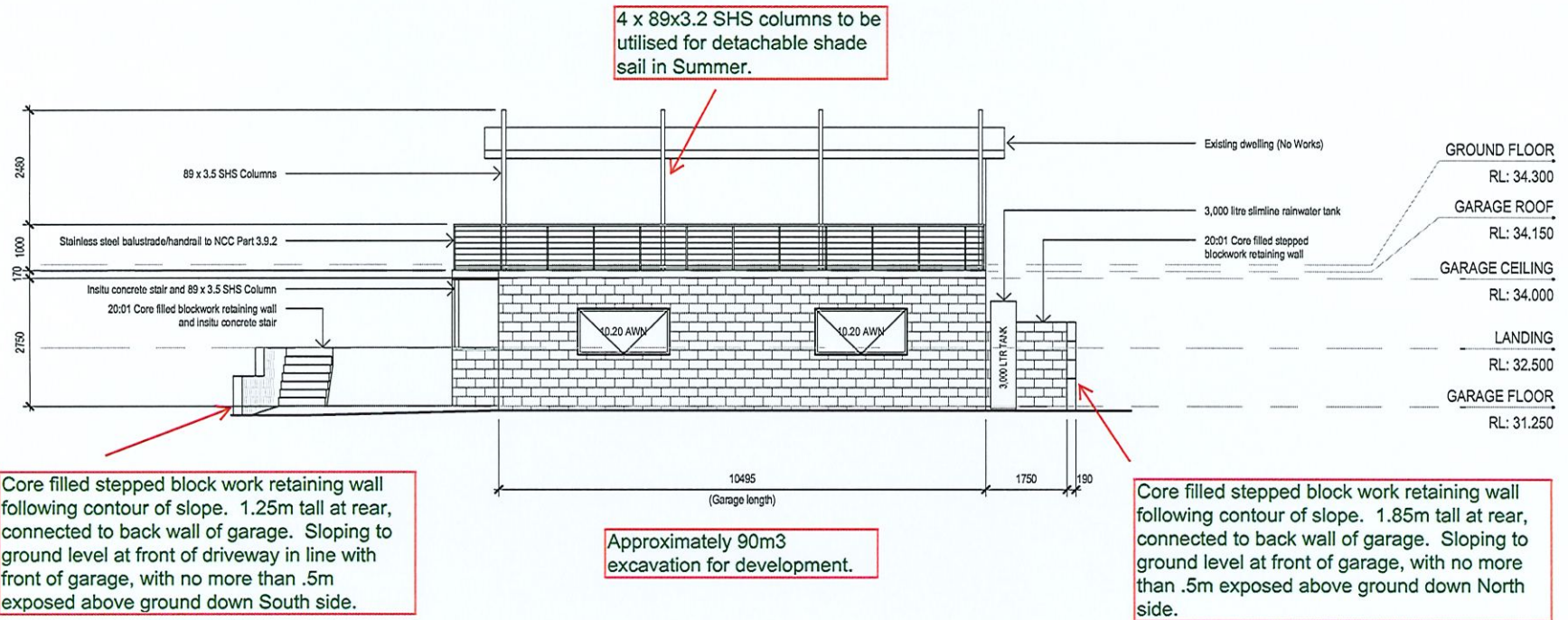
LAURA EILEEN UNDERWOOD
 JAMES RENSHAW STEEL
 25 TRELLOGGEN DRIVE
 BINALONG BAY, TAS, 7216
lrsteel91@gmail.com
laura_underwood13@gmail.com

PROPOSED GARAGE
25 TRELLOGGEN DRIVE BINALONG BAY
TAS 7216

DRAWING TITLE
SITE PLAN

0 30mm SCALE 1:175@A3

DESIGNER JS	DRAWN MF	CHECKED JS
PROJECT 24.1011	DRAWING A001	REVISION



THIS DRAWING HAS NOT BEEN APPROVED FOR CONSTRUCTION

REV	DESCRIPTION	APP'D	DATE

LAURA EILEEN UNDERWOOD
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lsteel91@gmail.com
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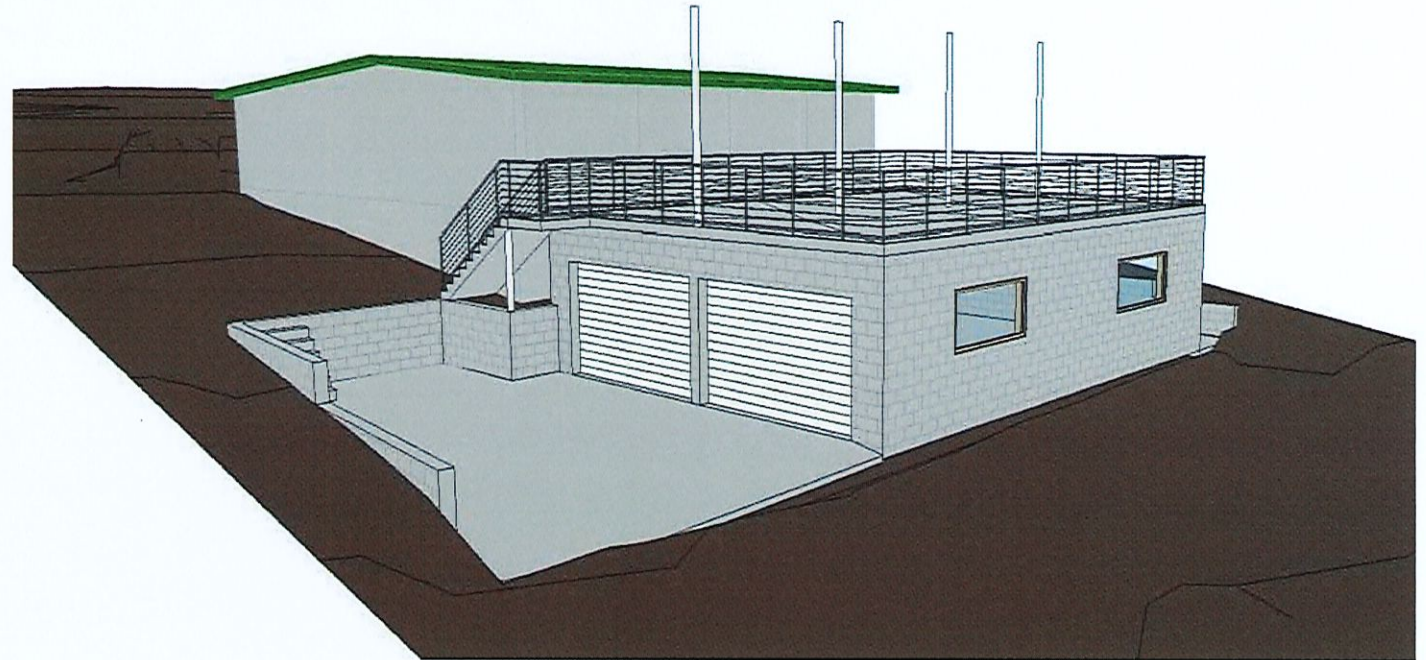
PROPOSED GARAGE
 25 TREGGON DRIVE BINALONG BAY
 TAS 7216
 DRAWING TITLE
 EAST ELEVATION

		SCALE 1: 100@ A3
DESIGNER JS	DRAWN MF	CHECKED JS
PROJECT 24.1011	DRAWING A202	REVISION

PROPOSED GARAGE TO EXISTING DWELLING

25 TRELOGGEN DRIVE BINALONG BAY TAS 7216

DWG. No.	DRAWING TITLE	CURRENT REVISION	ISSUE DATE
A000	COVER PAGE		
A001	SITE PLAN		
A101	GARAGE ROOF PLAN		
A102	GARAGE FLOOR PLAN		
A201	NORTH ELEVATION		
A202	EAST ELEVATION		
A203	SOUTH ELEVATION		

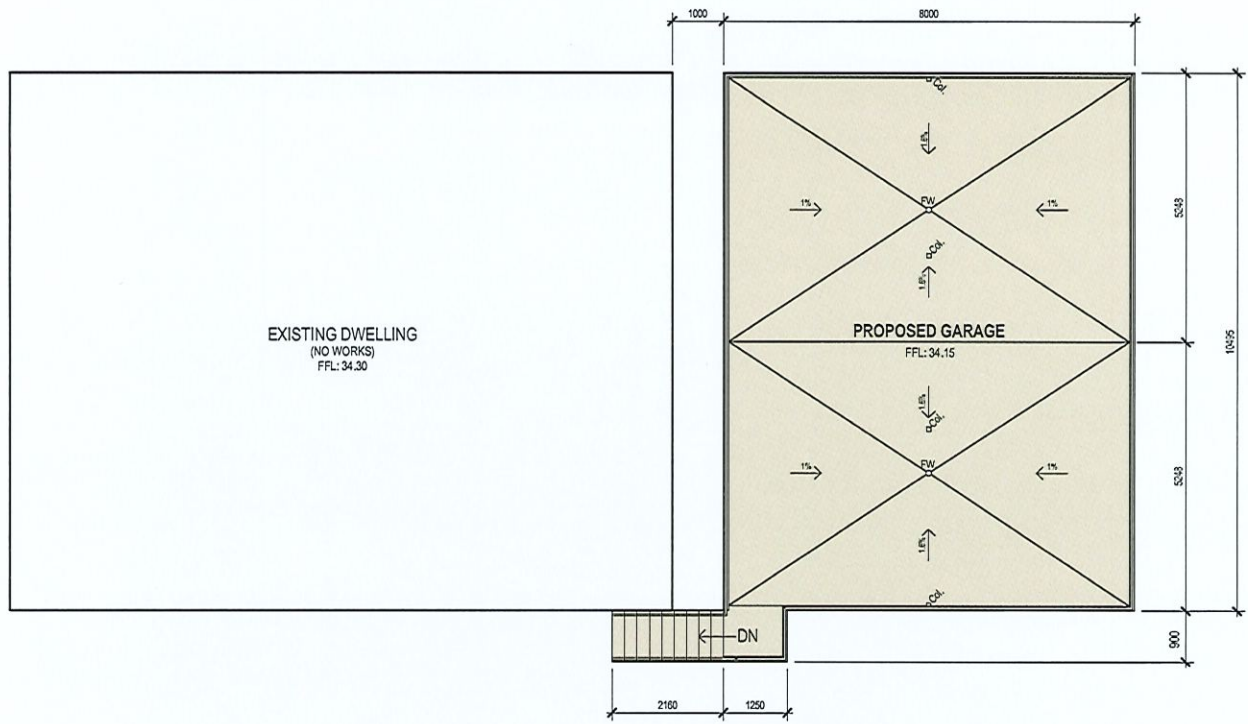


REV	DESCRIPTION	APP'D	DATE

Laura Eileen Underwood
 James Renshaw Steel
 25 Treloggen Drive
 Binalong Bay, TAS, 7216
jrsteel91@gmail.com
laura.underwood13@gmail.com

PROPOSED GARAGE
25 TRELOGGEN DRIVE BINALONG BAY
TAS 7216
 DRAWING TITLE
COVER PAGE

		SCALE @ A3
DESIGNER JS	DRAWN MF	CHECKED JS
PROJECT 24.1011	DRAWING A000	REVISION



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REV	DESCRIPTION	APP'D	DATE

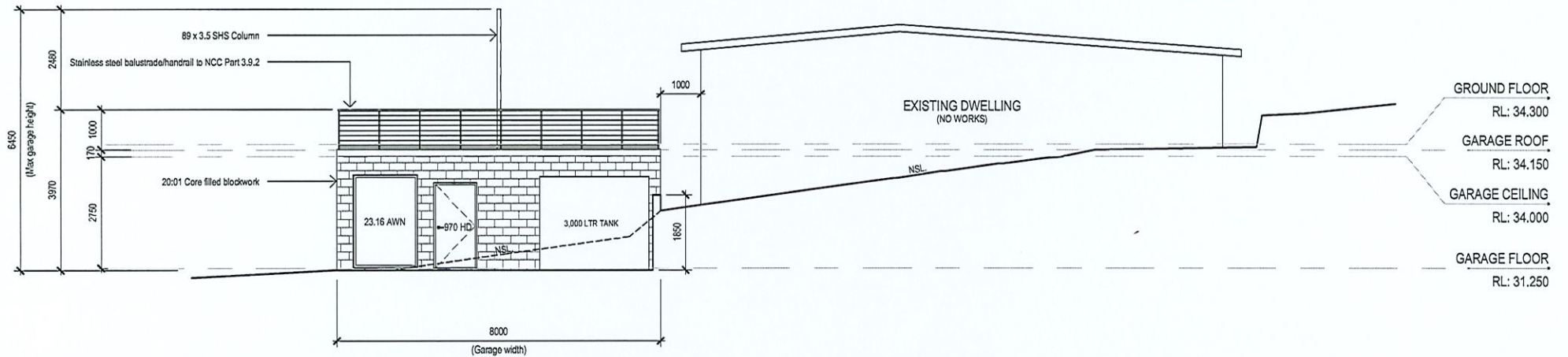
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PROPOSED GARAGE
 25 TRELOGGEN DRIVE BINALONG BAY
 TAS 7216

DRAWING TITLE
GARAGE ROOF PLAN

0 30mm SCALE
 1 : 100@ A3

DESIGNER JS	DRAWN MF	CHECKED JS
PROJECT 24.1011	DRAWING A101	REVISION



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REV	DESCRIPTION	APP'D	DATE

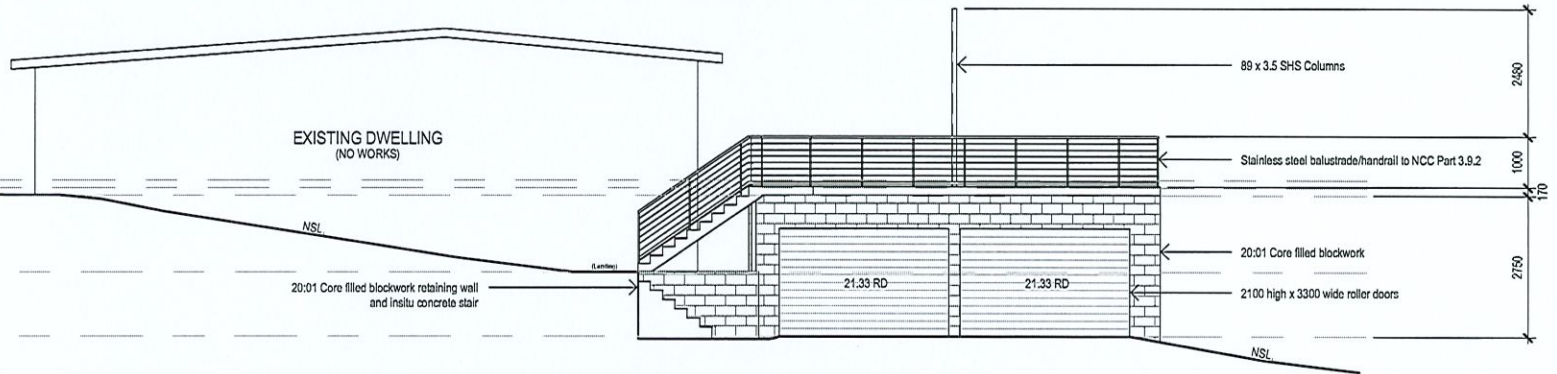
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PROPOSED GARAGE
 25 TRELLOGGEN DRIVE BINALONG BAY
 TAS 7216

DRAWING TITLE
 NORTH ELEVATION

		SCALE 1:100@A3
DESIGNER JS	DRAWN MF	CHECKED JS
PROJECT 24.1011	DRAWING A201	REVISION

GROUND FLOOR
RL: 34.300
GARAGE ROOF
RL: 34.150
GARAGE CEILING
RL: 34.000
LANDING
RL: 32.500
GARAGE FLOOR
RL: 31.250



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REV	DESCRIPTION	APP'D	DATE

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laura.underwood13@gmail.com

PROPOSED GARAGE
25 TRELLOGGEN DRIVE BINALONG BAY
TAS 7216
DRAWING TITLE
SOUTH ELEVATION

		SCALE 1:100@A3
DESIGNER JS	DRAWN MF	CHECKED JS
PROJECT 24.1011	DRAWING A203	REVISION

DEVELOPMENT APPLICATION BREAK O'DAY COUNCIL

**New garage for:
Laura Underwood
25 Trelloggen Drive,
Binalong Bay 7216**

Please find the supplementary information related to the Development Application for the construction of a new Garage (non-dwelling) in the Low Density Residential Zone.

This includes:

Page 1 - *Responses to request for further information.*

Page 2 - Planning Scheme response for discretionary application

Page 5 - Further information/context (re: Stormwater, Rooftop deck, Static water supply for firefighting, Septic system) plus Garage material & colour specifications

Page 7 - Site plan including AHD levels + Garage plans at 1:100

Summary of proposed development:

The site at 25 Trelloggen Drive is a narrow trapezoid shaped 932m² lot that has an existing residence and carport. The new 10m x 8m double garage with rooftop deck is to be located at the front of the lot.

The Non-Dwelling development complies with all acceptable solutions for 10.0 Low Density Residential Zone: "10.4 Development Standards for Dwellings", apart from 10.4.3 (setback) as detailed on page 2.

Responses to request for further information:

1. Amended application form including reference to retaining walls attached.
2. As the single story garage is positioned at the front of the property, with the rooftop below the floor level of the existing dwelling, we propose to utilise the rooftop as a deck space as this will add value without compromising visual harmony. There will be no access from the house, therefore we have proposed a stairwell access from the driveway as shown in the plans. The space would be utilised for outdoor entertainment and enjoyment of the view, with the addition of outdoor seating, a herb garden, pot plants and space to do yoga. The four slimline posts are proposed to allow the use of a detachable shade sail in Summer, for sun protection when sitting on the deck, and to also provide some shade to the front of the house. Deck will have a low profile balustrade of stainless steel wire and galvanised posts in line with the characteristics of other properties in the area.
3. Please see below for a resubmitted application addressing 10.4 Development standards for dwellings.

Regarding request "*Additionally, the proposed outbuilding is discretionary on the southern side boundary due to the lot reducing in width within the site and any response should also address this encroachment.*": we have amended the plans so that the protrusion for the stairwell has been reduced to 0.9m horizontally from the building, which now brings the setback from the South side boundary to more than 5m.

4. The plans in higher resolution are attached which include annotating the height of the proposed retaining wall at all variations and quantifying the amount of cut proposed (m³).

Planning Scheme response for discretionary application

10.4 Development Standards for Dwellings

10.4.1 Residential density for multiple dwellings

Acceptable Solution A1:

- The proposed development is not a multiple dwelling

10.4.2 Building height

Acceptable Solution A1:

- The proposed development has a height of 2.97m (structure) + 3.48m (balustrade/total height of poles for detachable shade sail) total height 6.45m

10.4.3 Setback

Performance criteria P1:

The frontage setback of the garage is .8m on the South/East corner and 2.6m on the North/East corner which relies on Performance Criteria P1:

(a) The garage's position utilises the natural topography of the site, located at the front, the lowest point of the property. With the cut and retaining walls as shown on the plans, this allows the garage to sit well below the roofline (the garage roof is below the floor level of the existing residence), and its location ensures that it will not obstruct or impair any views for neighbouring properties. There will also be no loss of amenity as a result of the proposed retaining walls, as they will follow the site's contours and be no more than .5m above surrounding ground level at any point.

There are similar structures such as garages, boat sheds, and decks located in the same proposed location for this garage development, which is at the front of the property, closest to the road - see page 3 & 4 for some examples. The existing driveway on our lot was shared with the adjoining property by the previous owners who owned both lots. As this driveway is outside of our property boundary, the front of the site is the only available placement for a driveway, and the most efficient space for ease of vehicle access to the garage.

(b) Many similar structures, such as garages, boat sheds, and decks, in the immediate neighbourhood are located within 8m of the front property boundary. Please see photo examples on page 4. In regard to our immediate neighbours, our lot sits further forward on a bend. The property to the north sits at a higher elevation, and the orientation of its house and front windows face the ocean, angled away from our property. This guarantees that the garage will not impact their primary view or reduce their amenity, please see a photo mock up photo below of how our proposed development might look to our neighbours if they were to look back towards the South. The property to the south is currently vacant, but its position, further back around the bend and sitting higher than our property on a sloping lot, ensures that even when a dwelling is constructed, the garage will not impede their view or reduce their amenity.



(c) The height, bulk & form of the design, along with the materials and colours chosen, are aligned with the character of surrounding properties, ensuring visual consistency within the coastal setting of the area. The proposed exterior paint colours will also be used on the existing residence to bring it all in line. With the cut and retaining walls as shown on the plans, this allows the garage to sit well below the height of the residence. Additionally, we propose using the garage's roof space as a viewing deck, adding value without compromising visual harmony. More details on the rooftop deck's usage can be found on page 1. The proposal includes the construction of 4 posts for a detachable shade sail to be installed during Summer.

(d) The garage is single story that has been cut in at the front of the existing dwelling to sit as low as possible, which will be less obtrusive than some recent two story developments in the area that are located close to the frontage, with balconies overlooking the road. A wide nature strip between the front boundary and the road will be landscaped with native plants, enhancing the overall aesthetic and enhancing the view of the property from the street.

(e) The proposed development does not negatively impact the safety of road users or pedestrians.

Acceptable solution A2:

The garage has a setback of more than 5m from the West (rear), North and South boundaries. Regarding the South boundary, please see updated plans to show the reduced protrusion for the stairwell now at .9m. As this protrusion does not extend more than 0.9m horizontally from the building, that gives a setback from the South boundary of 5.005m at the closest point.

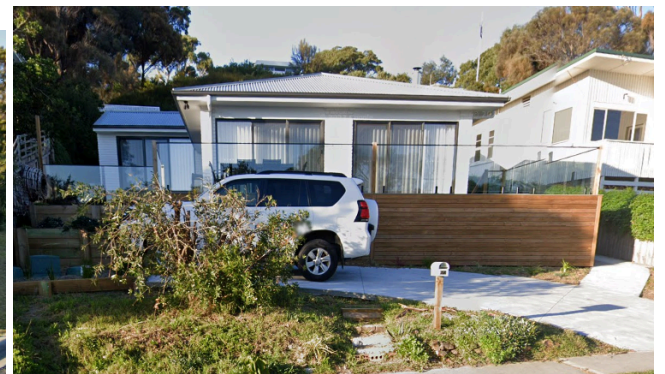
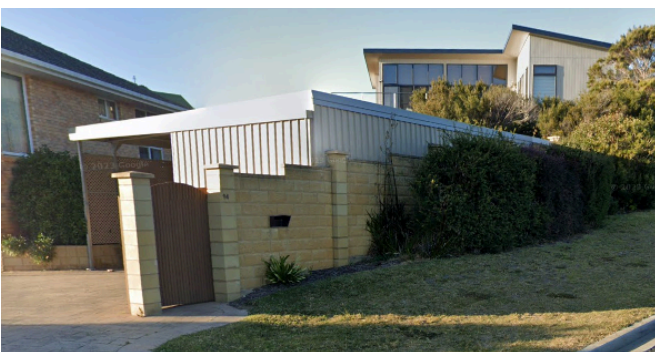
Photo examples of garages & viewing decks in the immediate area built within 8m of the frontage setback:

Similarly located along Treloggen drive:





Located on other streets in the immediate area:



10.4.4 Site coverage

Acceptable Solution A1:

- The proposed development has a site coverage of 9% (83.96m² on a 932m² site). Total site coverage of proposed and existing buildings is 28.5%.

10.4.5 Frontage fences for all dwellings

Not applicable:

- No new fences or freestanding walls in this development.

Further information/context:

Stormwater:

The rain catchment from the roof of the garage will be collected in a new slimline 3,000L water tank for garden use, with overflow diverted to stormwater drains.

Driveway will be concreted with drainage diverted away from buildings into stormwater drains.

Rooftop deck:

As the single story garage is positioned at the front of the property, with the rooftop below the floor level of the existing dwelling, we propose to utilise the rooftop as a deck space as this will add value without compromising visual harmony. There will be no access from the house, therefore we have proposed a stairwell access from the driveway as shown in the plans. The space would be utilised for outdoor entertainment and enjoyment of the view, with the addition of outdoor seating, a herb garden, pot plants and space to do yoga. The four slimline posts are proposed to allow the use of a detachable shade sail in Summer, for sun protection when sitting on the deck, and to also provide some shade to the front of the house. Deck will have a low profile balustrade of stainless steel wire and galvanised posts in line with the characteristics of other properties in the area.

Bushfire prone area:

Construction materials for proposed development are fire retardant, chosen to minimise risk to people and property in the event of a bush fire.

Static supply for firefighting:

10,000lt gal Fire Tank to be installed at the rear of the property, with 50mm hose and outlet installed at the property frontage in line with the requirements within the *Director's Determination - Bushfire Hazard Areas*.

Septic:

A separate application to upgrade our existing septic tank and trenches will be submitted shortly. A wastewater assessment has been completed by Richard Mason

<https://onsiteassessmenttas.com.au/> and we are just waiting on the report.

Garage material & colour specifications

Structure: Core filled concrete blockwork walls, Steel framing, Concrete slabs

External walls: Blockwork - *Dune*

Roof: Concrete - *Natural stone* + Balustrade & Posts stainless steel/galvanised

Windows: Double glazed aluminium - *Surfmist*