

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2024 / 00146
Applicant	Wilkin Design & Drafting Pty Ltd
Proposal	Residential - Shed
Location	34 Osprey Drive, Stieglitz

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 24th August, 2024 **until 5pm Friday 6th September, 2024.**

John Brown
GENERAL MANAGER

CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING ASSESSMENT.

ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE ASSESSMENT IS CONTINUED

CONFIRM ALL SIZES AND HEIGHTS ON SITE

DO NOT SCALE OFF PLAN

THESE DOCUMENTS ARE INTENDED FOR COUNCIL PLANNING APPLICATION ONLY, THEY ARE NOT TO BE USED FOR ANY OTHER PURPOSES.

THIS DESIGN IS COVERED UNDER COPYRIGHT AND ANY CHANGES MUST BE CONFIRMED BY "WILKIN DESIGN & DRAFTING" THE DRAWER RETAINS ALL "INTELLECTUAL PROPERTY"

PROPOSED SHED FOR P. & E. HARWOOD AT 34 OSPREY DR STIEGLITZ TAS 7216



wilkin
design

P.O. BOX 478
LAUNCESTON
TASMANIA 7250

ACCREDITATION NO:
CC678 X

DATE:
06/08/2024

JOB NUMBER:
DA-241416

DEVELOPMENT APPLICATION ONLY
[NOT FOR CONSTRUCTION]

OSPREY DRIVE

c.t. boundary 18.00m.

EXISTING ACCESS
(NO CHANGE)

DRAINAGE EASEMENT
(APPROX. LOCATION ONLY)

c.t. boundary 138.61m.

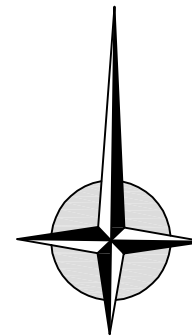
c.t. boundary 144.03m.

EXISTING SHED

PROPOSED SHED

EXISTING RESIDENCE

c.t. boundary 57.16m.



34 OSPREY DR
STIEGLITZ TAS 7216

TITLE REF: 23095/72
PROPERTY ID: 7320146
AREA = 5230.0m²



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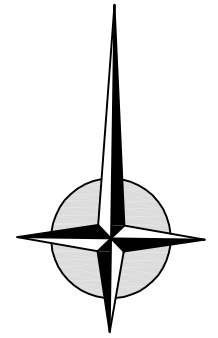
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LOCALITY PLAN dns

NOTE: ALL DIMENSIONS TO BE CONFIRMED ON SITE.

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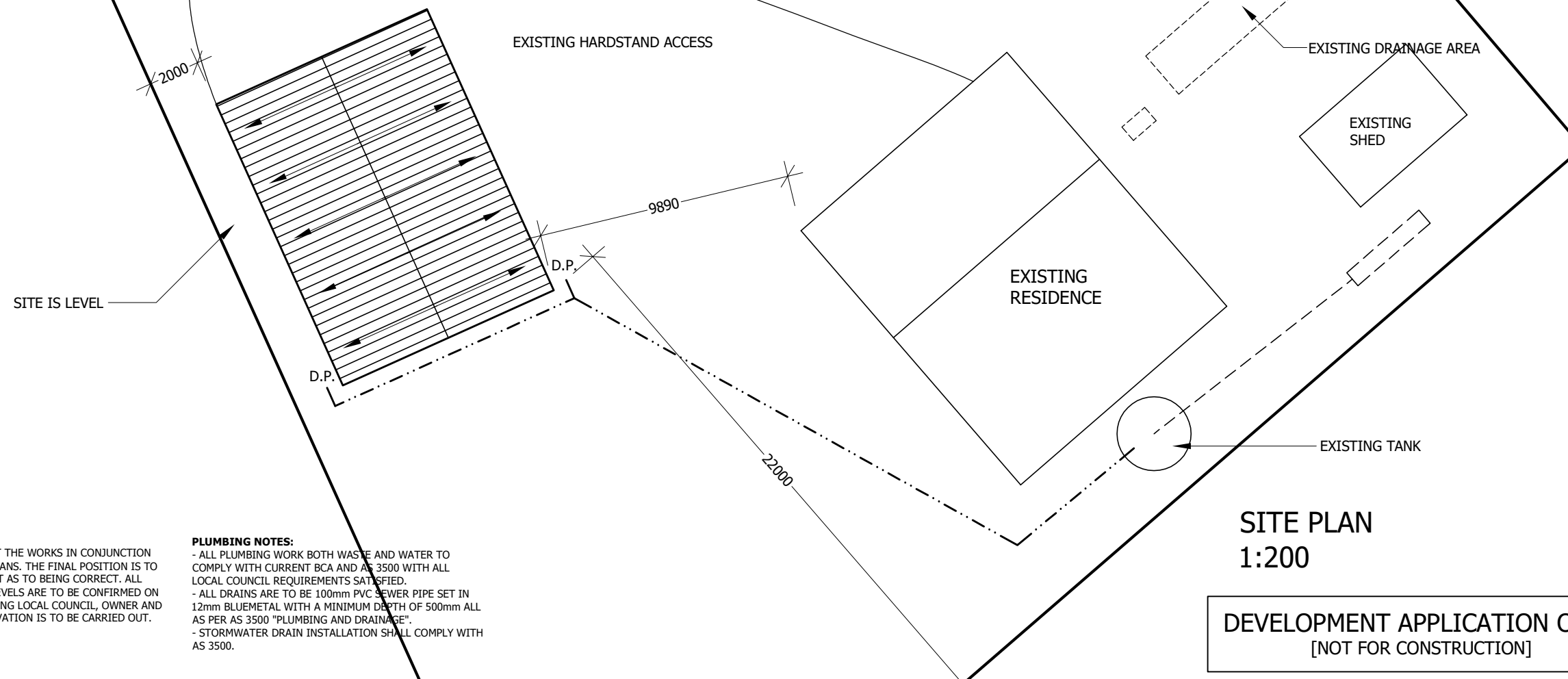
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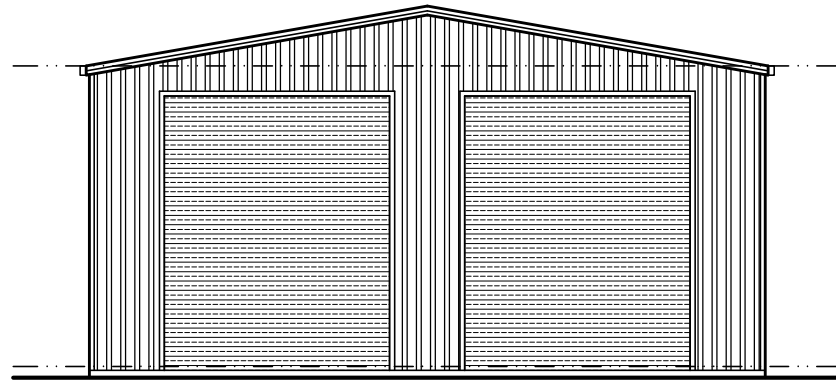
SET OUT NOTES:

- THE BUILDER IS TO SET OUT THE WORKS IN CONJUNCTION WITH THE ACCOMPANYING PLANS. THE FINAL POSITION IS TO BE CONFIRMED BY THE CLIENT AS TO BEING CORRECT. ALL DIMENSIONS HEIGHTS AND LEVELS ARE TO BE CONFIRMED ON SITE BY ALL PARTIES INCLUDING LOCAL COUNCIL, OWNER AND ENGINEER BEFORE ANY EXCAVATION IS TO BE CARRIED OUT.

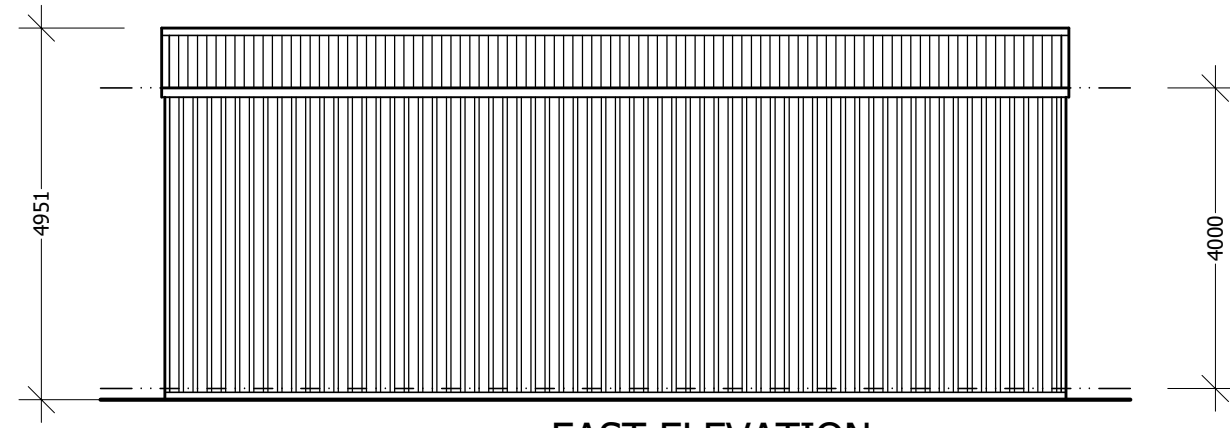
PLUMBING NOTES:

- ALL PLUMBING WORK BOTH WASTE AND WATER TO COMPLY WITH CURRENT BCA AND AS 3500 WITH ALL LOCAL COUNCIL REQUIREMENTS SATISFIED.
- ALL DRAINS ARE TO BE 100mm PVC SEWER PIPE SET IN 12mm BLUOMETAL WITH A MINIMUM DEPTH OF 500mm ALL AS PER AS 3500 "PLUMBING AND DRAINAGE".
- STORMWATER DRAIN INSTALLATION SHALL COMPLY WITH AS 3500.

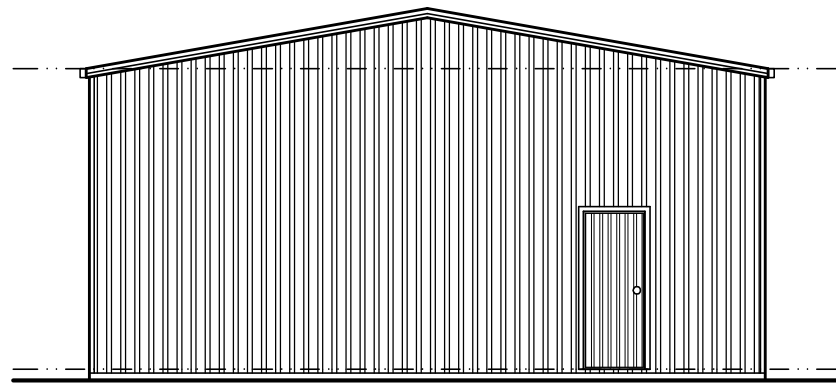
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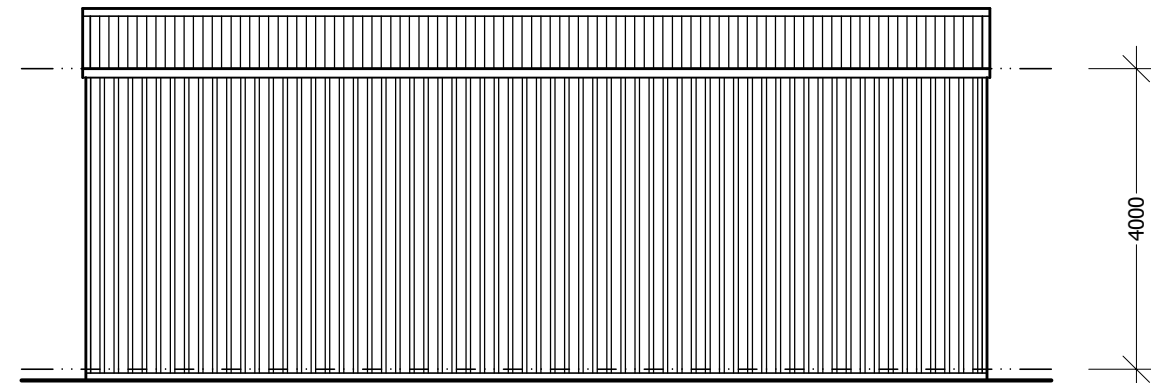
NORTH ELEVATION
1:100



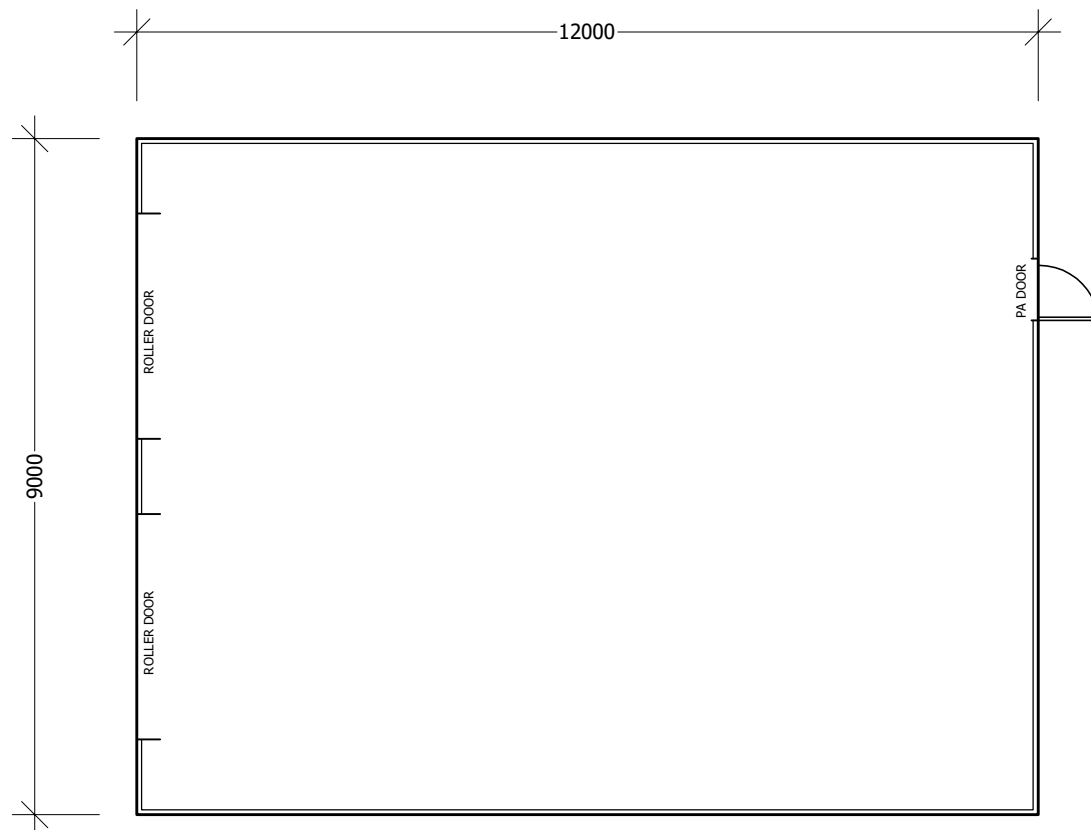
EAST ELEVATION
1:100



SOUTH ELEVATION
1:100



WEST ELEVATION
1:100



FLOOR PLAN
1:100



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