

## **Development Applications**

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

<b>DA Number</b>	DA 2024 / 00145
<b>Applicant</b>	J Binns
<b>Proposal</b>	Residential - Carport
<b>Location</b>	63 Lawry Heights, St Helens

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at [www.bodc.tas.gov.au](http://www.bodc.tas.gov.au).

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to [admin@bodc.tas.gov.au](mailto:admin@bodc.tas.gov.au), and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 24<sup>th</sup> August, 2024 **until 5pm Friday 6<sup>th</sup> September, 2024.**

**John Brown**  
**GENERAL MANAGER**

# proposed carport

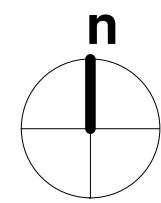
gita walker  
63 lawry heights st helens tasmania 7216



site plan	a01
carport elevations	a02
carport plans by others	attachment

**jennifer binns**  
BUILDING DESIGN

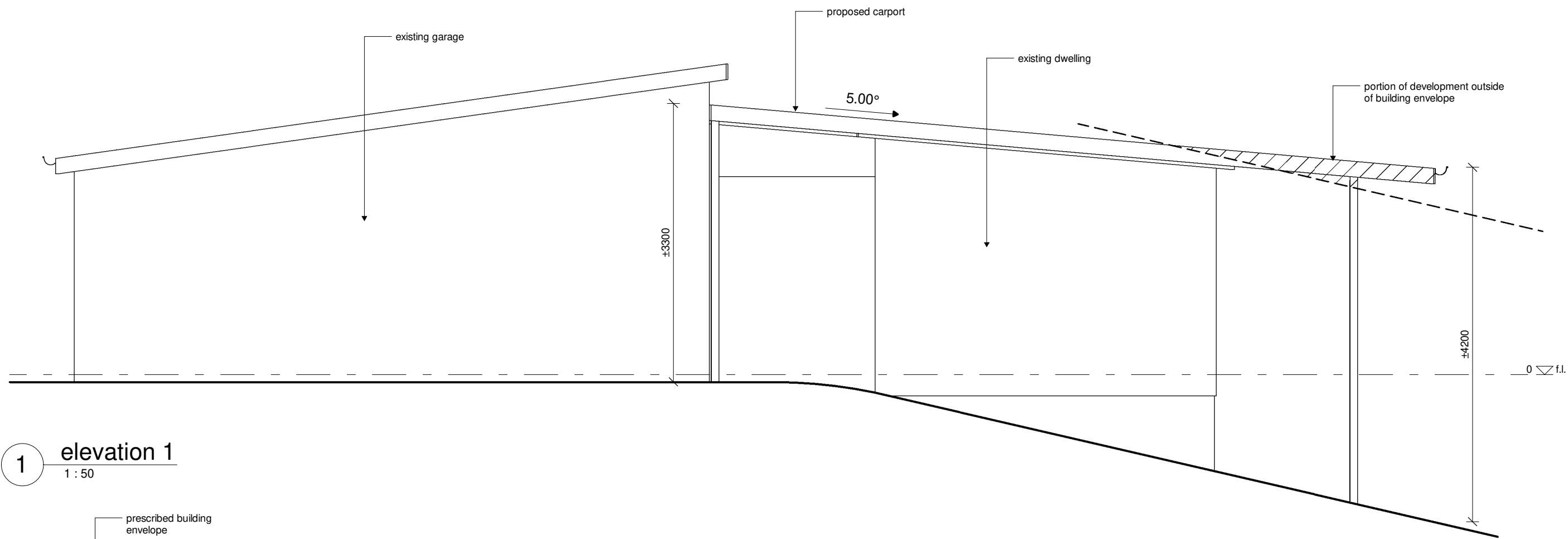
52 cecilia street, st helens tasmania 7216  
mail@jenniferbinnsdesign.com.au 0439 765 452

# lawry heights

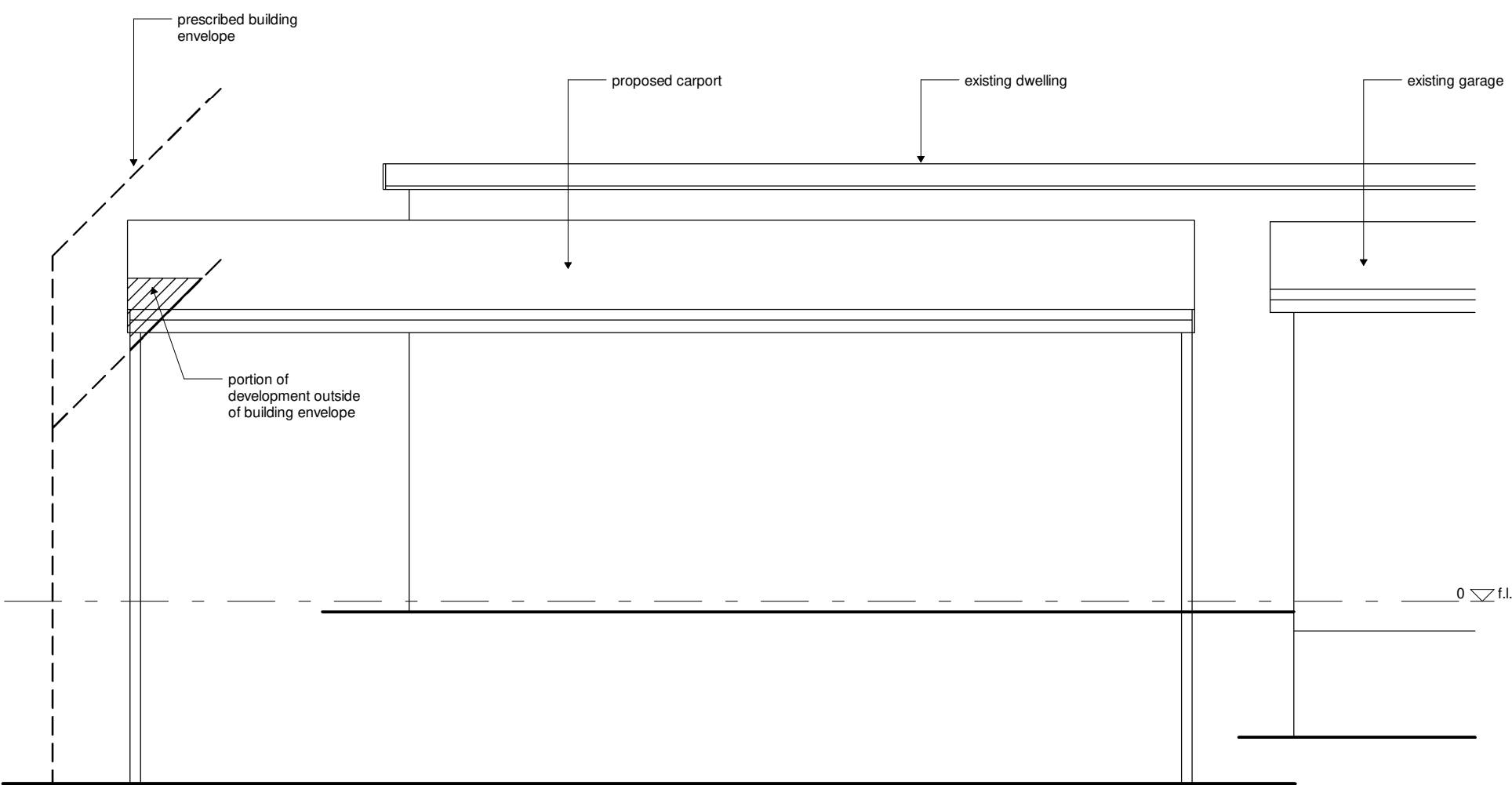


REV:	DESCRIPTION:	DATE:
PROJECT: <b>proposed carport</b>		
FOR: <b>g. walker</b> <b>63 lawry heights</b> <b>st helens tasmania 7216</b>		
DRAWING TITLE: <b>site plan</b>		
DRAWING NO: <b>a01</b>	DRAWN BY: JB	
	DATE: 07.08.24	
SCALE: 1 : 200	PROJECT: 0524WA	
 www.jenniferbinnsdesign.com.au (03) 6376 2588 : 0439 765 452 : jenniferbinns@bigpond.com suite 8 level 1 avery house, 48 cecilia street, st helens 7216		
 BUILDING DESIGNERS AUSTRALIA		ACCREDITATION NO: CC 1269L



1 site plan  
1 : 200



1 elevation 1  
1 : 50



2 elevation 2  
1 : 50

REV:	DESCRIPTION:	DATE:
PROJECT: <b>proposed carport</b>		
FOR: <b>g. walker</b> <b>63 lawry heights</b> <b>st helens tasmania 7216</b>		
DRAWING TITLE: <b>carport elevations</b>		
DRAWING NO: <b>a02</b>	DRAWN BY: <b>JB</b>	
	DATE: <b>07.08.24</b>	
SCALE: <b>1 : 50</b>	PROJECT: <b>0524WA</b>	
		
<small>www.jenniferbinnsdesign.com.au (03) 6376 2588 : 0439 765 452 : jenniferbinns@bigpond.com suite 8 level 1 avery house, 48 cecilia street, st helens 7216</small>		
 <small>BUILDING DESIGNERS AUSTRALIA</small>		<small>ACCREDITATION NO: CC 1269L</small>

## GENERAL NOTES

These documents show the general arrangement of the building and include some items not supplied (refer to the quotation for nomination of all items to be provided). All items not nominated therein shall be supplied and installed by others.

The plans provided here are the latest at the time of print. Earlier plans provided may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building. The building is not designed to stand up by itself when it is partially complete. Consequently, construction bracing is critical during erection.

The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm that the length and size (including thickness), nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per Terms and Conditions of Sale.

## DESIGN CRITERIA

These building plans have been prepared to comply with the standards nominated in the engineer's letter. All plans are not to Scale.

The structure has been designed to allow for less than 50% of the cross-section exposed to the wind under the roof to be blocked by goods or materials in accordance with AS/NZS 1170.2:2021. Blocking more than 50 % of the cross - section under the roof with goods or materials will change the loads on the structure which have not been allowed for.

## ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER

The Purchaser/Owner is responsible for:

- \*Provision of Soils Report for the site and in the building area on which the building is to be erected
- \*Site Plan and Drainage Plans
- \*Any other plans not covered by these engineering plans requested by the local Council or the authority

## RAINWATER AND DRAINAGE

All Rainwater and drainage designs are the responsibility of the purchaser/owner. Residential gutters and downpipes where supplied are based on average rainfall for the state and may not be sufficient for your building size or usage. Please speak to your building designer or contractor to ensure gutters are fit for purpose.

## BUILDING CONSTRUCTION REQUIREMENTS

The Builder and Purchaser are to ensure that all construction is carried out in accordance with the Plans, the Construction Manual and the Bill of Materials (BOM).

It is the responsibility of the builder to ensure that they are familiar with the operational risks and their obligations in carrying out construction work.

The builder must ensure that they have an appropriate Health & Safety Plan (The Plan) compliant with and as required by their local, state and federal regulations. The Plan will need to take into account the site conditions, the size of the building and the experience of the construction personnel. The Plan will, most likely, differ for each project.

The builder must ensure that The Plan is adhered to. Particular attention should be paid to the requirements to ensure that any person working at heights are properly trained and following the requirements as set out by The Plan.

It is recommended that you check with the appropriate authority in your area as to your responsibilities.

## TEMPORARY SUPPORT, LIFTING AND SHORING

The design of temporary propping shoring, lifting and support during construction has not been undertaken and is not included in our engagement. This work is the responsibility of the Contractor undertaking the construction of the building.

## SLAB AND/OR PIER DETAILS - GENERAL

\* The minimum size of Piers under the columns and End Wall Mullions are nominated on the Material Specifications Plan. When the slab and piers are poured as one pour, the depth of the pier is to the top of the slab.

\* Pier Reinforcement: for any piers over 1100mm, deformed bar to within 100mm of base and minimum 75mm top cover. Minimum side cover 75mm, maximum 100mm. Rod to be caged horizontally at least twice and at a maximum of 300mm spacing. Tie with a minimum of 6mm diameter cage tie. Where pier diameter is less than 450mm diameter, use 4 N12. For diameters equal to and over 450mm, use 4 N16.\* Second Pour Jointing (refer to construction manual):

1. Surface of first pour must be scabbled.
  2. All loose debris must be vacuumed from hole.
  3. Apply heavy coat of bondcrete or similar adhesive prior to second pour.
  4. Apply suitable protective coating to the embedded portion of the columns.
- \* Where columns or end wall mullions have been removed, piers are not required.

\* End wall mullion spacing may move due to location of openings or doors. Check layout and component position plan, and relocate piers as required.

\* The Slab Plan indicates those parts of the slab which are 50mm below main slab/piers.

\* Shed design has the columns embedded into the concrete. Refer to your Client BOM for embedment depth.

\* This measurement is from the top of the finished slab.

\* Pier and Slab design covers sites with a minimum of 100kPa safe bearing capacity soil classification A, S or M for a class 10a building.

\* The footing designs have been calculated with adhesion values of 0kPa, 25kPa and 50kPa for clay soils and dense sand soils only.

\* A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.

\* Site conditions different to those specified require a modified design.

\* Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.

\* Designs are in accordance with AS 3600:2018

\* All concrete to be in accordance with AS 3600:2018. Minimum 25 Mpa, with 80mm slump.

\* Concrete should be cured for 7 days before commencing construction of the building.

## Concrete Slab


### For Class A, S or M Sites

- \* Slab thickness to be a minimum of 100mm with SL 72 mesh and 40mm top cover.
- \* Shed design has the columns embedded into the concrete. Refer to your Client BOM for embedment depth.
- \* This measurement is from the top of the desired finished level of the building.
- \* Footing design covers sites with a minimum of 100kPa safe bearing capacity soil classification A, S, M for a class 10a building.
- \* The footing designs have been calculated with adhesion values of 0kPa, 25kPa and 50kPa for clay soils and dense sand soils only.
- \* A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.
- \* Site conditions different to those specified require a modified design.
- \* Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.
- \* Designs are in accordance with AS 3600:2018
- \* All concrete to be in accordance with AS 3600:2018. Minimum 25 Mpa, with 80mm slump.
- \* Piers should be cured for 7 days before commencing construction of the building.
- \* Refer to connection details.
- \* Saw construction joints to be 25mm deep x 5mm wide. Saw cuttings shall take place no later than 24 hours after pouring. Saw construction joints to be placed at a maximum spacing of 6.3m (in both the length and the span). Care should be taken to avoid construction cuts intersecting where any fixing to the slab is to be made.

## Concrete Piers Only

## BRACING NOTES

- \* Refer to Connection Details.
- \* All Cross Bracing is achieved with 1.2mm Strap G450.
- \* Cross bracing is to be fixed taut and secured with 14.20 x 22 frame screws at each end, quantity as per connection details.
- \* All Columns and End Wall Mullions are fixed Column in Concrete.
- \* Fly bracing to be fixed to the purlins/girts on all mid portal rafters, columns and end wall mullions. Fly bracing is to be fitted to every second purlin/girt, or, on every one, where the spacing between fly braces would exceed the maximum specified below for the relevant column/rafter size:

Revision	Date	Initial			General Notes	Seller: Sheds n Homes Launceston Name: Segel Pty Ltd Phone: 0437 120 410 Fax: Email: ian.thomson@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers  Signature:  John Ronaldson Date: 26/07/2024		
Posts moved 900mm	26/07/2024	LA	Purchaser Name: Gita Walker						
			Site Address: 63 Lawry Heights Saint Helens TAS 7216 Australia						
			Drawing #	SLAN240072 - 2				Print Date:	3/07/2024

- C150 - maximum 1800mm spacing
- C200, C250 - maximum 2200mm spacing
- C300 - maximum 2800mm spacing
- C350 - maximum 2800mm spacing
- C400 - maximum 2800mm spacing

\* All bracing strap ends to be located as close as practical to structural member's (columns, rafters, mullions) centerline.

**BOLTS**


\* Unless otherwise nominated, all bolts are grade 4.6

\* All tensioned bolts shall be tensioned using the part turn method (refer to AS4100). For the erector, full details are in the construction manual.

**OTHER MATERIALS NOTES**

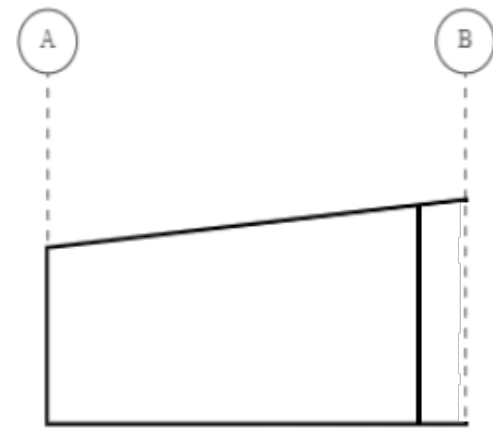
\* All Sheeting, Flashing and framing screws are Climaseal 3.

\* All purlin material has Z350 zinc coating with minimum strength of 450MPa.

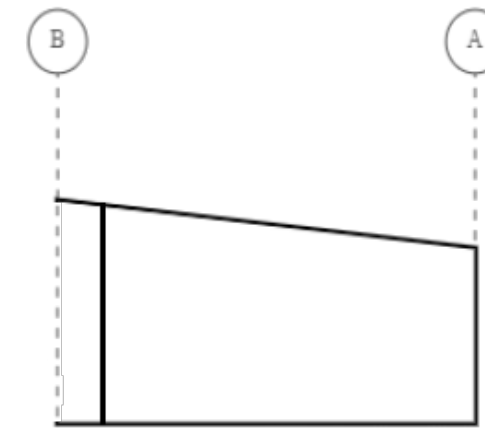
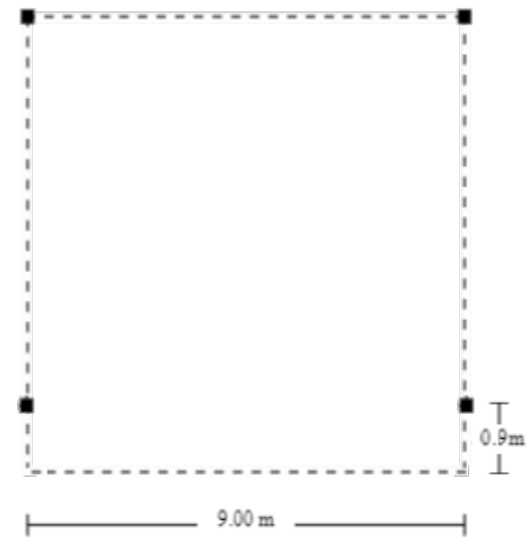
Revision	Date	Initial	Purchaser Name: Gita Walker		<b>General Notes</b>  Page 2 of 2 ©Copyright Steelx IP Pty Ltd	Seller: Sheds n Homes Launceston Name: Segel Pty Ltd Phone: 0437 120 410 Fax: Email: ian.thomson@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers  Signature:  John Ronaldson Date: 26/07/2024
			Site Address: 63 Lawry Heights Saint Helens TAS 7216 Australia				
			Drawing # SLAN240072 - 2	Print Date: 3/07/2024			



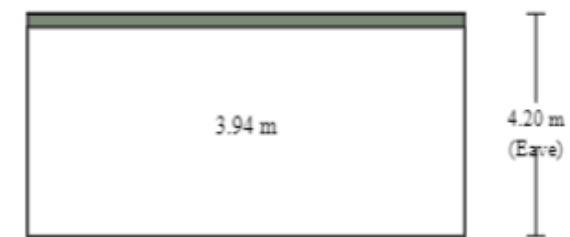
Left Side



Left End



Right End



Right Side

Purchaser Name: Gita Walker

Site Address: 63 Lawry Heights Saint Helens TAS 7216 Australia

Drawing # SLAN240072 - 3

Print Date: 03/07/24  
Amended: 26/07/24

**Layout**  
Not to Scale  
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Seller: Sheds n Homes Launceston  
Segel Pty Ltd  
Phone: 0437 120 410  
Fax  
Email: ian.thomson@shedsnhomes.com.au

Apex Engineering Group PTYLTD  
ACN 632 588 562  
ME Aust. (Registered NER Structural) 5276680  
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T. : 303557ES;  
Practising Professional Structural & Civil Engineers

Signature: 

John Ronaldson

Date: 26/07/2024

## MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

### Building Dimensions

Categories	Span	Length	Pitch	Height	Grid(s)	Portal(s)
Main Building	8.6 m	9 m	6	3.3 m	A - B	1 - 2

### Portal Frame Elements

Grid / Portal Number		1	2
Columns	A	SHS10050	SHS10050
	B	SHS10050 *	SHS10050 *
Rafters	A - B	C25024	C25024

Note (\*):  
Offset by 900mm (See Layout Plans)

### Bay Section Elements


Bay Number		1	Maximum
Roof Purlin Bridging (Rows)	A - Apex	YES (2)	
	Apex - B	-	
Roof Purlin Spacing (End)	A - B	1.1m	1.2 m
Roof Purlin Spacing (Internal Spans)	A - B	1.1m	1.2 m
Eave Purlin	A	C25024	
Eave Purlin Trimmer	B	C25024	
Side Girts Spacing (End)	A	0.16 m	1.53 m
	B	0.16 m	1.53 m
Side Girts Spacing (Internal)	A	0.16 m	1.53 m
	B	0.16 m	1.53 m

### Cladding Elements

Category	Colour	Product
Roof Sheeting	Monument	CORODEK® 0.42 BMT (0.47TCT)
Wall Sheeting	PaleEucalypt	TRIMCLAD® 0.42 BMT (0.47TCT)

### Pier Sizes

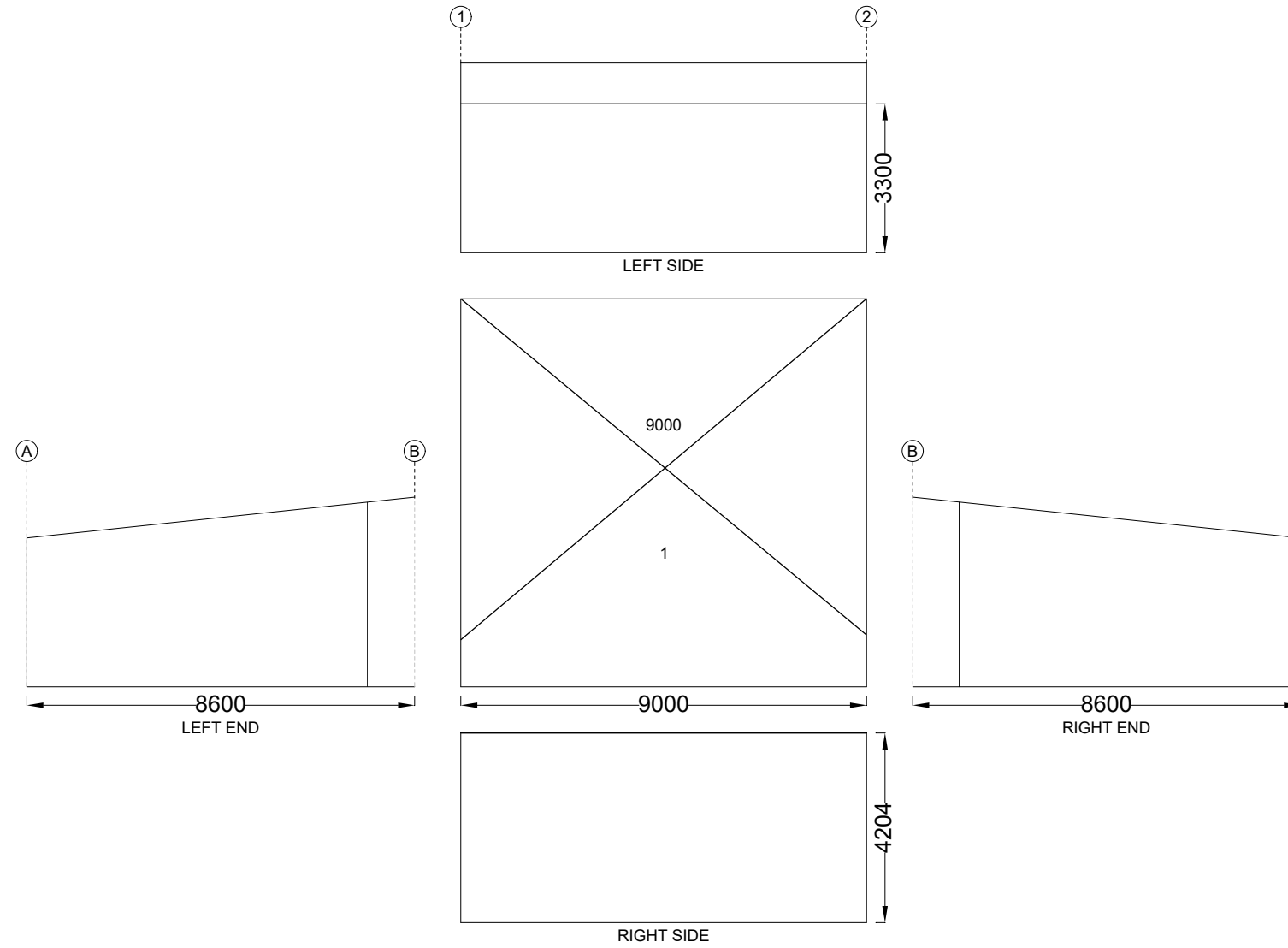
Adhesion	Soil Description	Diameter	Depth	Depth
			- when NO Slab	- with Slab
0 kPa	Sandy Soil	0.3 m	1 m	1 m
		0.45 m	1 m	1 m
		0.6 m	1 m	1 m
25 kPa	Soft to Firm Clay	0.3 m	1 m	1 m
		0.45 m	1 m	1 m
		0.6 m	1 m	1 m
50 kPa	Stiff to Very Stiff Clay	0.3 m	1 m	1 m
		0.45 m	1 m	1 m
		0.6 m	1 m	1 m

Revision	Date	Initial	Purchaser Name: Gita Walker		Material Specification Sheet	Seller: Sheds n Homes Launceston Name: Segel Pty Ltd Phone: 0437 120 410 Fax: Email: ian.thomson@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers		
Posts moved 900mm	26/07/2024	LA	Site Address: 63 Lawry Heights Saint Helens TAS 7216 Australia					Page 1 of 1 ©Copyright Steelx IP Pty Ltd	Signature:  John Ronaldson Date: 26/07/2024
			Drawing # SLAN240072 - 4	Print Date: 3/07/2024					



Cross Bracing is achieved with 1.2mm Strap. Refer to Connection Details.

Note:  
Bracing to connect at offset column positions.



Revision	Date	Initial	Purchaser Name: Gita Walker	
Posts moved 900mm	26/07/2024	LA	Site Address: 63 Lawry Heights Saint Helens TAS 7216 Australia	
			Drawing # SLAN240072 - 5	Print Date: 3/07/2024

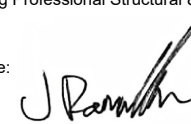
**Bracing**

NOT TO SCALE

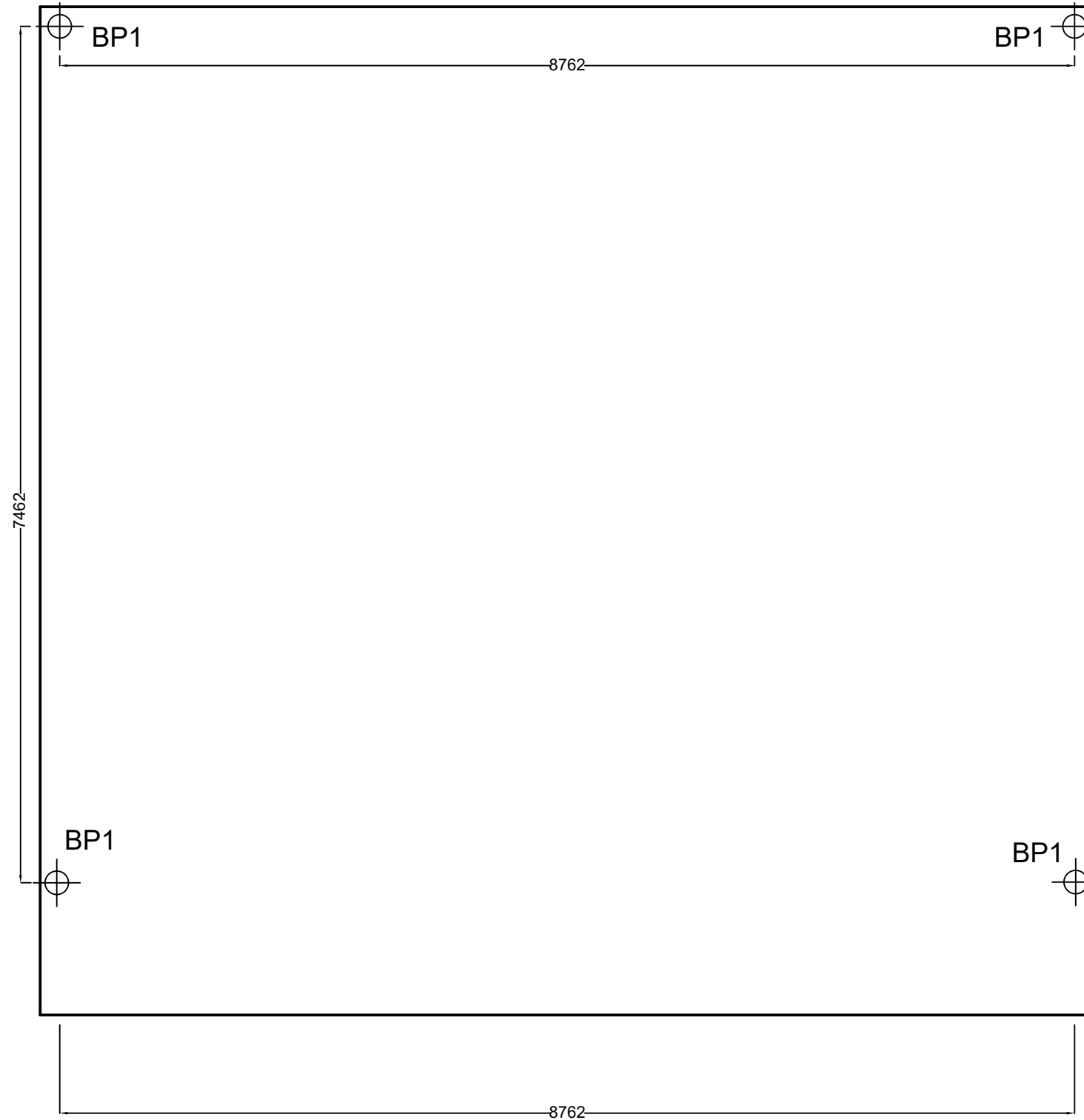
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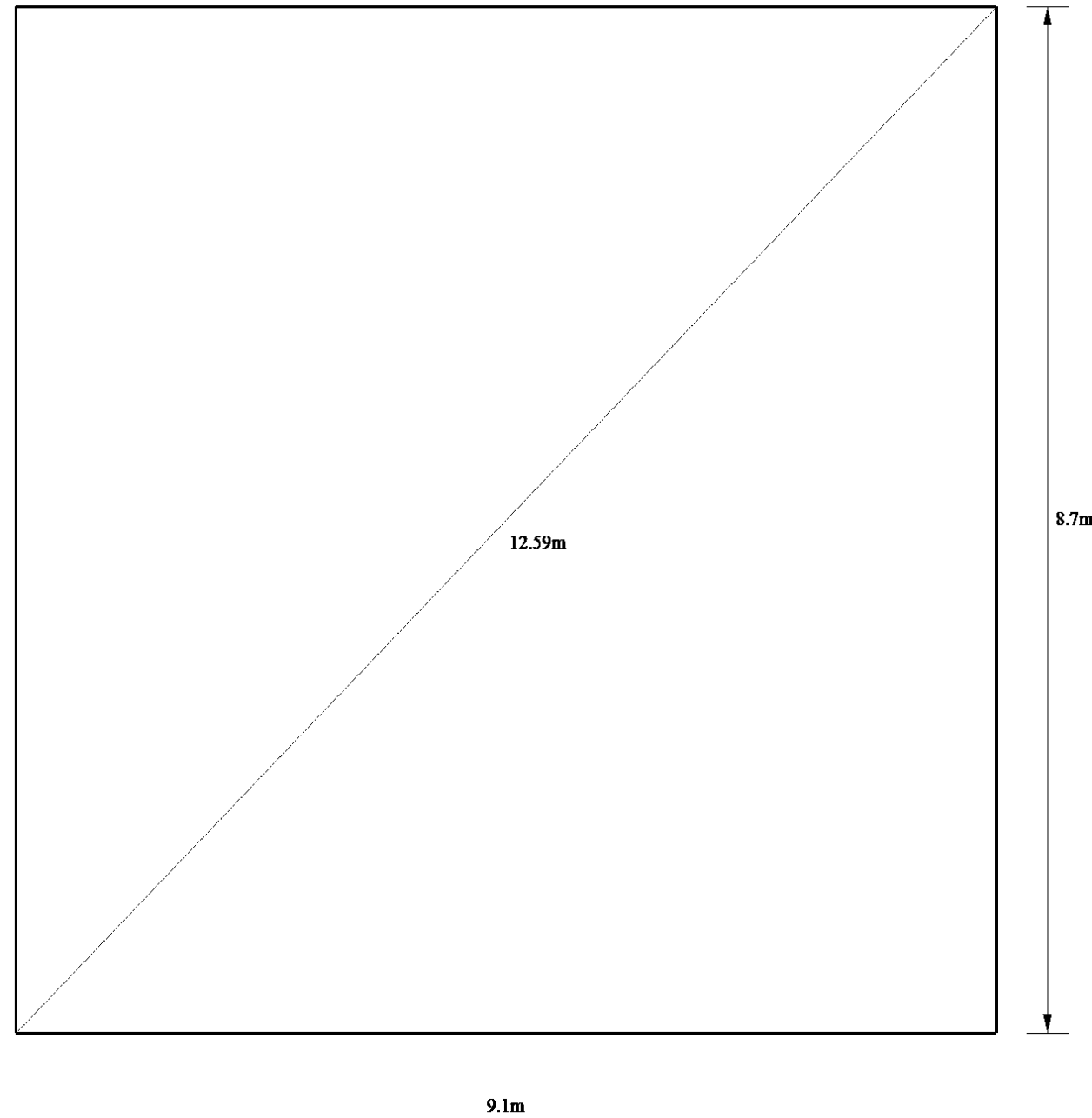
Signature:  John Ronaldson  
 Date: 26/07/2024

These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.  
 Refer to Material Specification Sheet(s) for the Pier Sizes.



Revision	Date	Initial	Purchaser Name: Gita Walker		<b>Concrete Piers</b> PIER MEASUREMENT ONLY NOT TO SCALE Page 1 of 1 ©Copyright Steelx IP Pty Ltd	Seller: Sheds n Homes Launceston Name: Segel Pty Ltd Phone: 0437 120 410 Fax: Email: ian.thomson@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 26/07/2024
Posts moved 900mm	26/07/2024	LA	Site Address: 63 Lawry Heights Saint Helens TAS 7216 Australia				
			Drawing # SLAN240072 - 6				
			Print Date: 3/07/2024				

These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.



Purchaser Name: Gita Walker

Site Address: 63 Lawry Heights Saint Helens TAS 7216 Australia

Drawing # SLAN240072 - 7

Print Date: 03/07/24

**Slab Dimensions**  
Also refer to Concrete Piers Plan  
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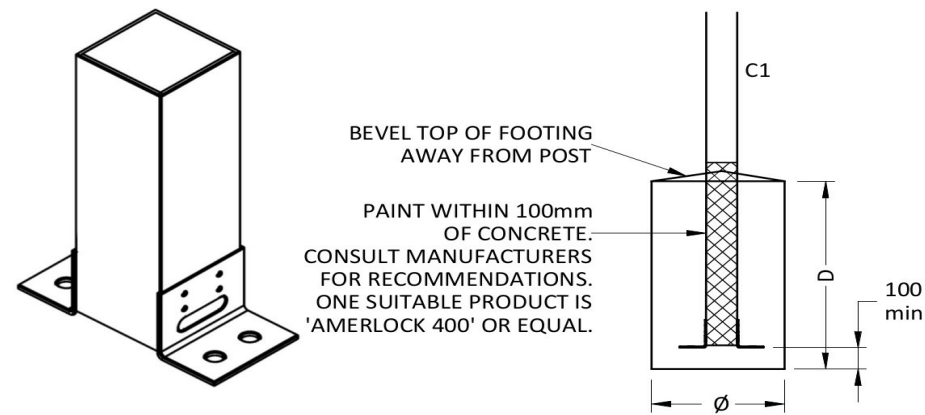
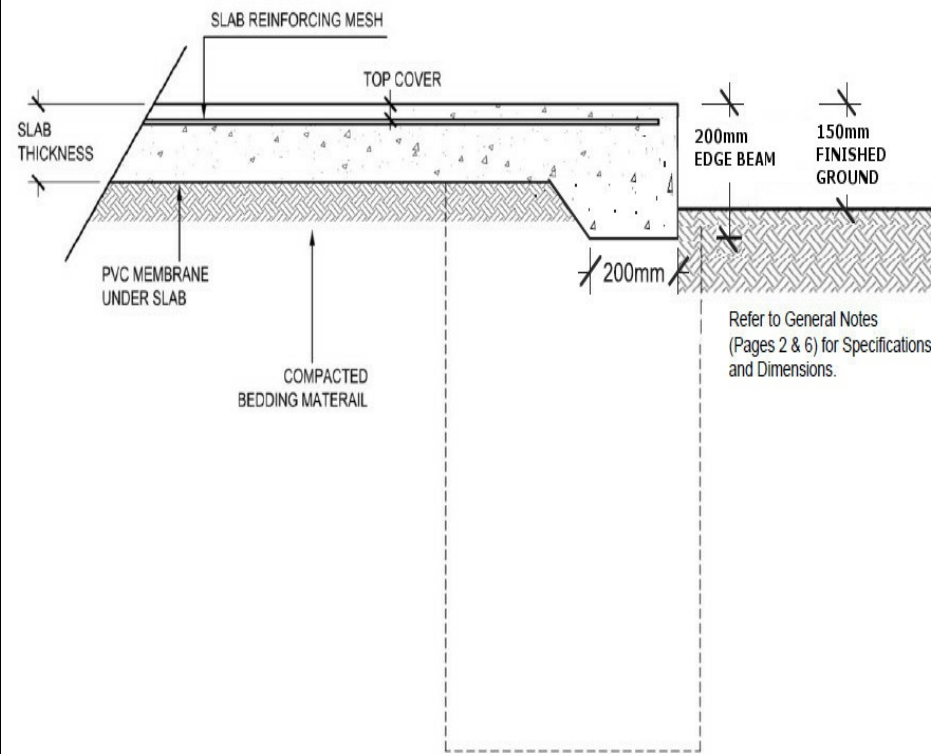
Seller: Sheds n Homes Launceston  
Segel Pty Ltd  
Phone: 0437 120 410  
Fax:  
Email: [ian.thomson@shedsnhomes.com.au](mailto:ian.thomson@shedsnhomes.com.au)

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QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES;  
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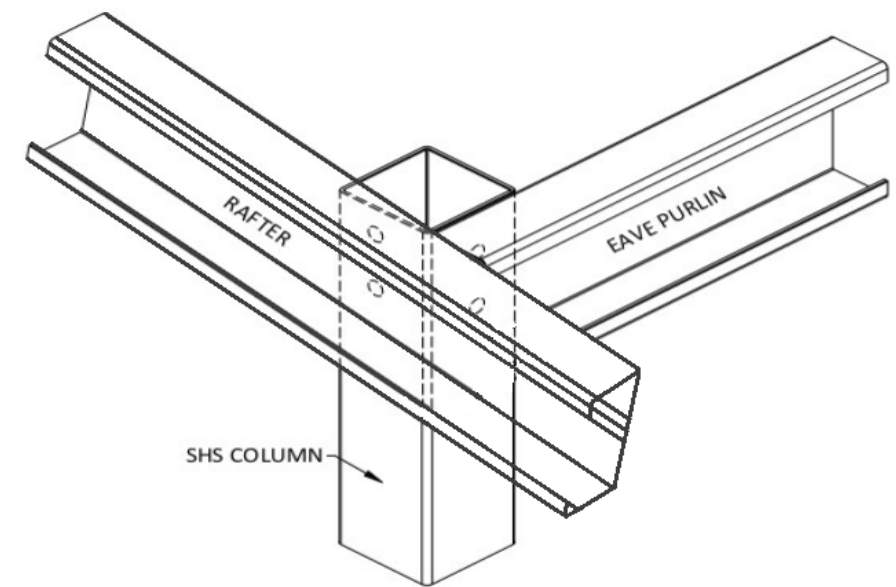
Signature:

John Ronaldson

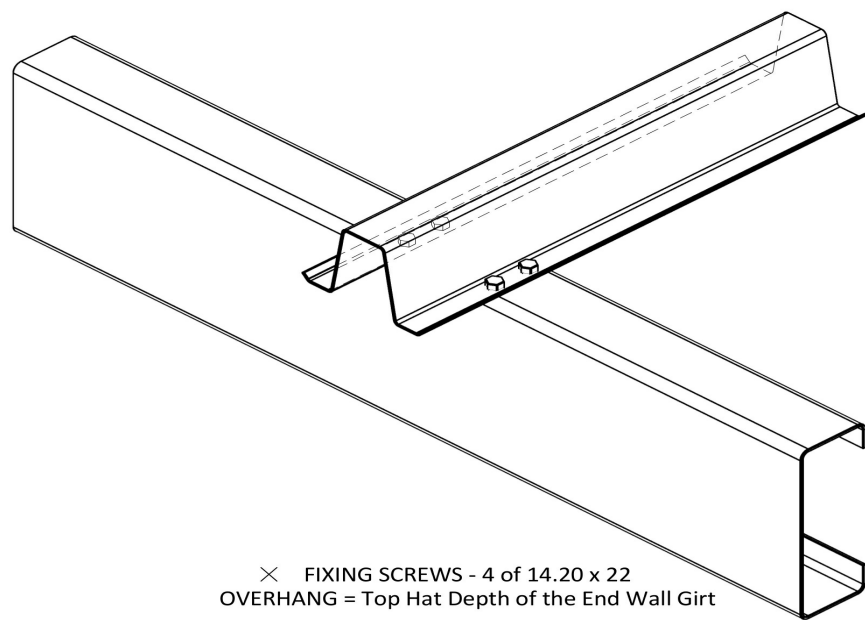
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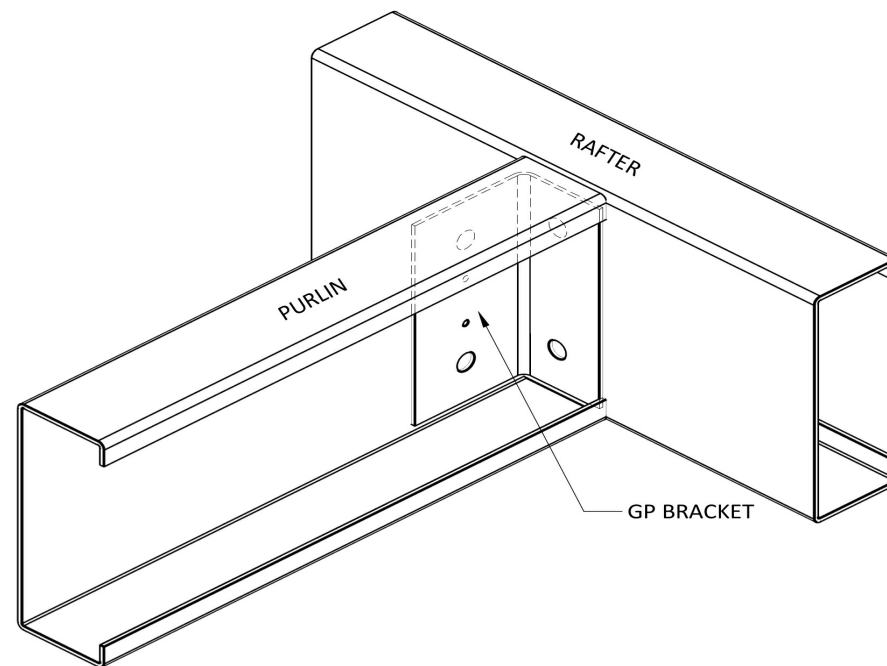
FIXING SCREWS - 8 of 14.20 x 22  
Embedded into concrete 600mm  
**COLUMN BASE PLATE - CARPORT - CIC**



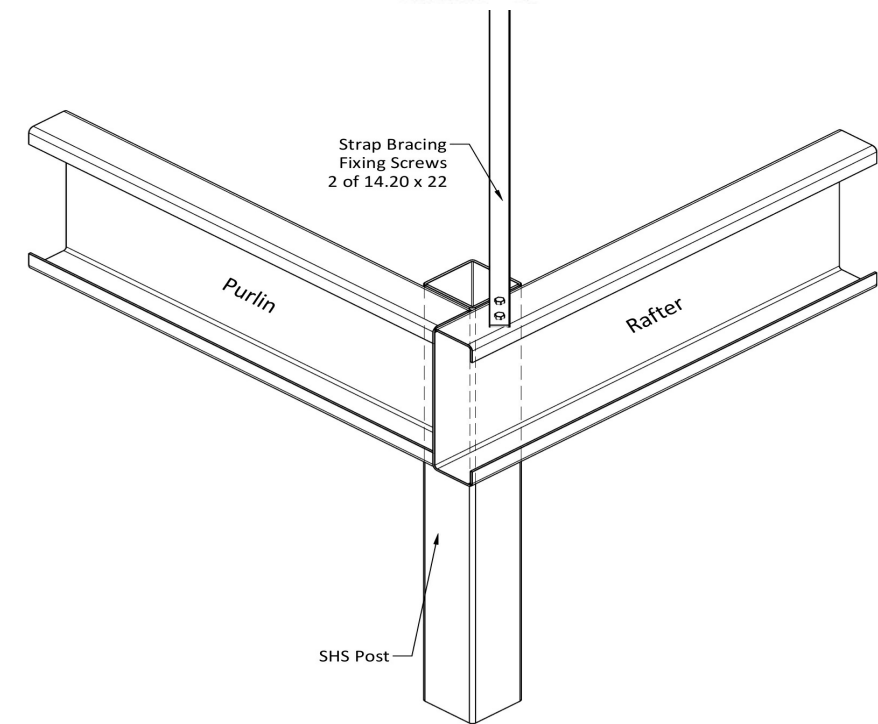
FIXING BOLTS - 4 of M16 x 30  
**COLUMN RAFTER/EAVE CONNECTION  
C250 - 6°**



× FIXING SCREWS - 4 of 14.20 x 22  
OVERHANG = Top Hat Depth of the End Wall Girt  
**PURLIN & SIDE GIRTS END WALL FIXING  
TOP HAT - SINGLE COLUMN OR RAFTER**



FIXING BOLTS - 4 of M16 x 30  
GPB250 BRACKET  
**PURLIN RAFTER CONNECTION - C250**



**BRACING CONNECTION DETAIL**

Purchaser Name: Gita Walker

Site Address: 63 Lawry Heights Saint Helens TAS 7216 Australia

Drawing # SLAN240072 - 8

Print Date: 03/07/24

Amended: 26/07/2024

**Connection Details**

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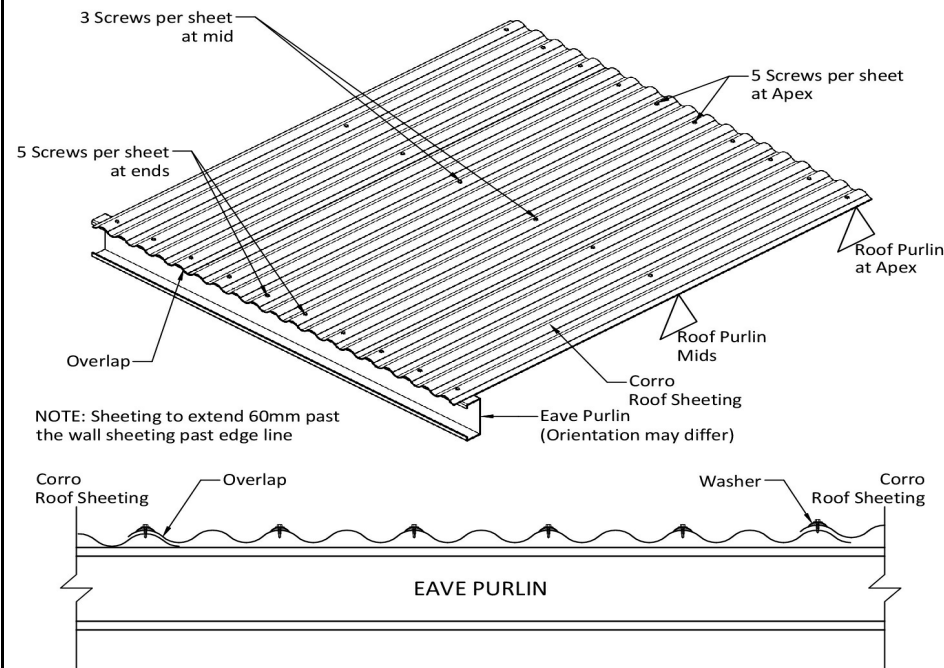
Seller: Sheds n Homes Launceston  
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Phone: 0437 120 410  
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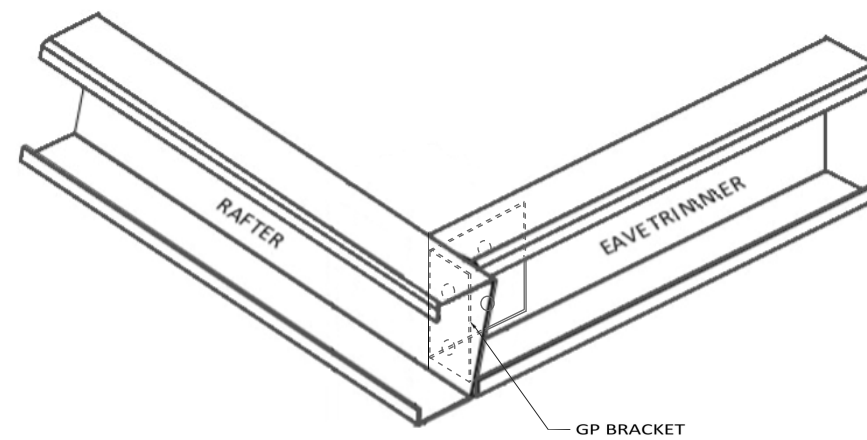
Signature:

John Ronaldson

Date: 26/07/2024



Roofing Screws - 12.14 x 42 Hex Seal High Grip  
**CORRO ROOF SHEET FIXING**



FIXING BOLTS - 4 of M16 x 30  
 GPB250 BRACKET

**EAVE TRIMMER TO RAFTER CONNECTION - OVERHANG - C250**

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Site Address: 63 Lawry Heights Saint Helens TAS 7216 Australia

Drawing # SLAN240072 - 8

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**Connection Details**

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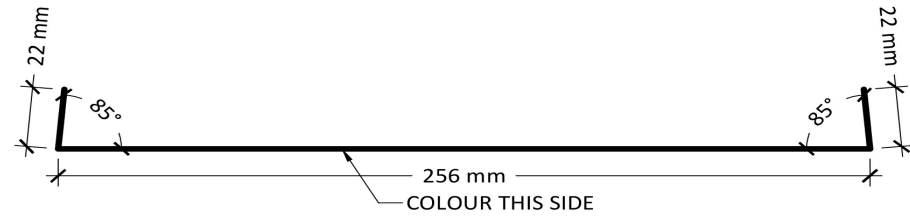
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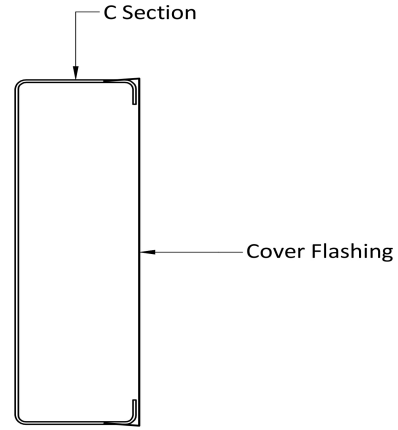
Signature:

John Ronaldson

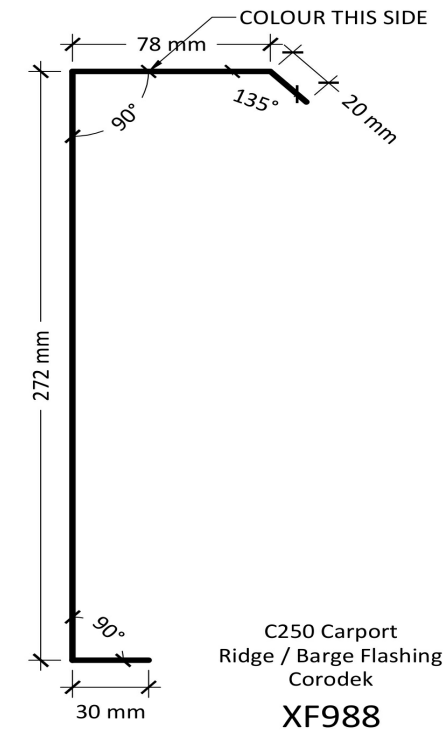
Date: 26/07/2024



C250 Cover Flashing  
XF52



Cover Flashing - XF52



C250 Carport  
Ridge / Barge Flashing  
Corodek  
XF988

Purchaser Name: Gita Walker

Site Address: 63 Lawry Heights Saint Helens TAS 7216 Australia

Drawing # SLAN240072 - 9

Print Date: 03/07/24

**Flashing Fixing Details**

Not to Scale  
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Apex Engineering Group PTY LTD  
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ME Aust. (Registered NER Structural) 5276680  
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T. : 303557ES;  
Practising Professional Structural & Civil Engineers

Signature:

John Ronaldson

Date: 26/07/2024

## **proposed carport**

gita walker  
63 lawry heights st helens tasmania 7216

## **planning compliance report**

august 8 2024

**jennifer binns** building design  
52 cecilia street st helens tasmania 7216  
mail@jenniferbinnsdesign.com.au : 0439 765 452

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## Introduction

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This report aims to demonstrate compliance with relevant planning standards for a proposed carport for Gita Walker at 63 Lawry Heights (c.t.141663/3). The report aims to take into consideration the intent, values and objectives of the Tasmanian Planning Scheme and address all scheme standards applicable to this development.

The proposed development relies on a **Performance Solution** to satisfy relevant planning standards and this application is to be read in conjunction with drawings submitted for the development.



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## Development Site Details

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The development site is an established and fully serviced residential property within the St Helens township. No alteration is proposed to the existing vehicle access and stormwater infrastructure.

**Zone: General Residential**



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## Development Details

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The proposed development is a steel kit carport adjacent to the existing garage.

### **Use Class: Residential**

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## Applicable Planning Codes

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The proposed development is in the *Residential* use class which in the *General Residential Zone* is a *Permitted* use.

The following zone standards and codes of the Tasmanian Planning Scheme are applicable to the proposed development:

- **Zone 8.0 GENERAL RESIDENTIAL ZONE**

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Table 8.3 GENERAL RESIDENTIAL USE STANDARDS

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8.3.1 Amenity

**A1 Not Applicable**

The proposed development is a permitted use.

**A2 Not Applicable**

The proposed development is a permitted use.

**A3 Not Applicable**

The proposed development is not a commercial use.

**A4 Not Applicable**

The proposed development is a permitted use.

8.3.2 Residential Character

**A1 Not Applicable**

The proposed development is not in the Visitor Accommodation use class.

**A1 Not Applicable**

The proposed development is not in the Visitor Accommodation use class.

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Table 8.4 GENERAL RESIDENTIAL DEVELOPMENT STANDARDS

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8.4.1. Residential density for multiple dwellings

**A1 Not Applicable**

The proposed development does not include multiple dwellings.

8.4.2 Setback and building envelope for all dwellings

**A1 Not Applicable**

The proposed development is sited to the rear of the existing dwelling.

**A2 Acceptable Solution**

The proposed development is sited to the rear of the existing dwelling.

**A3 Performance Solution**

The proposed development falls marginally outside of the prescribed building envelope and is within 1.5m of the rear boundary for an equivalent distance of 34% of the length of the boundary. The shadow from the proposed carport will fall on the adjacent property however the area of the adjacent property to the south of the proposed carport is a driveway area and the development will not result in the loss of solar access to the adjacent dwelling or primary habitable space. The proposed carport follows the existing roofline of the dwelling and the development will not have a visual impact when viewed from the adjacent property. The proposed siting of the carport is consistent with the pattern of development in the area where outbuildings are commonly sited directly adjacent to the rear boundary.



Development site + adjacent properties

#### 8.4.3 Site coverage and private open space for all dwellings

**A1     Acceptable Solution**

The proposed development does not include multiple dwellings. The site coverage of development is <50% of the lot area.

**A2     Acceptable Solution**

Private open space provisions for the existing dwelling are maintained.

#### 8.4.4 Sunlight to private open space of multiple dwellings

**A1     Not Applicable**

The proposed development does not include multiple dwellings.

#### 8.4.5 Width of openings for garages and carports for all dwellings

**A1     Not Applicable**

The proposed carport is not within 12m of the property frontage.

#### 8.4.6 Privacy for all dwellings

**A1     Not Applicable**

The proposed development does not include a new floor level >1m above natural ground level.

**A2     Not Applicable**

The proposed development does not include glazing.

**A3     Not Applicable**

The proposed development does not include a shared driveway.

#### 8.4.7 Frontage fences for all dwellings

**A1     Not Applicable**

Fencing is not proposed as part of this application.

#### 8.4.8 Waste storage for multiple dwellings

**A1     Not Applicable**

The proposed development does not include multiple dwellings.

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Table 8.5 DEVELOPMENT STANDARDS FOR NON DWELLINGS

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**Not Applicable**

The proposed development is a carport associated with an existing single dwelling.

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Table 8.6 DEVELOPMENT STANDARDS FOR SUBDIVISION

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**Not Applicable**

No subdivision of land is proposed.