

## **Development Applications**

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

<b>DA Number</b>	DA 2024 / 00104
<b>Applicant</b>	W T O'Donnell
<b>Proposal</b>	Residential - Construction of Dwelling, Garage & Carport
<b>Location</b>	2 Archie Court, St Helens

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at [www.bodc.tas.gov.au](http://www.bodc.tas.gov.au).

Representations must be submitted in writing to the General Manager, Break O' Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to [admin@bodc.tas.gov.au](mailto:admin@bodc.tas.gov.au), and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 22<sup>nd</sup> June, 2024 **until 5pm Friday 5<sup>th</sup> July, 2024.**

**John Brown**  
**GENERAL MANAGER**

# PROPOSED RESIDENCE: 2 ARCHIE CRT, ST.HELENS 7216

**CLIENT:** Tim & Daniela O'Donnell

## GENERAL NOTES:-

- GN01 - DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY.
- GN02 - THE OWNER, BUILDER & SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS & SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS & SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL BY-LAWS & TOWN PLANNING REQUIREMENTS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
- GN03 - ALL WORKS SHALL COMPLY WITH BUT NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:  
 A.S. 1288 GLASS IN BUILDINGS - SELECTION & INSTALLATION  
 A.S. 1562 DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDINGS.  
 - PART 1 METAL.  
 A.S. 1684.2 NATIONAL TIMBER FRAMING CODE.  
 A.S. 2870 - RESIDENTIAL SLABS AND FOOTINGS. - CONSTRUCTION.  
 A.S. 2904 - DAMP-PROOF COURSES AND FLASHING.  
 A.S. 3600 - CONCRETE STRUCTURES.  
 A.S. 3660.1 - PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES  
 - PART 1 NEW BUILDINGS.  
 A.S. 3700 - MASONRY IN BUILDINGS.  
 A.S. 3740 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.  
 A.S. 3786 - SMOKE ALARMS.  
 A.S. 4055 - WIND LOADINGS FOR HOUSING.
- GN04 - THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS & DRAWINGS.
- GN05 - SOIL CLASSIFICATION.  
 THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE GEOTECHNICAL REPORT.  
 FOOTINGS TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT.

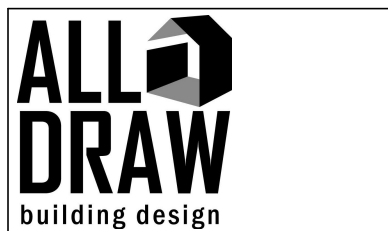
- GN06 - WHERE THE BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH A.S.3660.1
- GN07 - ALL GLAZING 500mm ABOVE FLOOR LEVEL TO COMPLY WITH A.S.1288
- GN08 - WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
- GN09 - STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.
- GN10 - SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENTS.
- GN11 - FOOTINGS NOT TO ENCR OACH TITLE BOUNDARIES AND EASEMENT LINES.
- GN12 - SMOKE ALARMS COMPLY WITH A.S. 3786 AND INSTALLED IN ACCORDANCE WITH B.C.A. 1.7.7 THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP.
- GN13 - WATERPROOFING TO FLOORS & WALLS OF WET AREAS TO BE PROVIDED IN ACCORDANCE WITH B.C.A. PART 3.8 AND COMPLY WITH A.S.3740
- GN14 - PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 450mm CENTRES IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS.
- GN15 - ALL WALL TILING TO WET AREAS ARE TO BE ON A BACKING OF WATERPROOF PLASTERBOARD OR FIBROUS CEMENT VILLABOARD LINING TILES TO BE 1800mm MIN. ABOVE SHOWER BASE TILES TO BE 150mm MIN. ABOVE SINKS, BASINS, TROUGHS & BATHS
- GN16 - EXHAUST VENTILATION FANS TO EXHAUST TO OUTSIDE AIR OR OUT TO VENTILATED ROOF CAVITY
- GN17 - THERMAL INSULATION TO BE PROVIDED IN ACCORDANCE WITH THE ENERGY RATING REPORT

- GN18 - STAIR REQUIREMENTS:- (OTHER THAN SPIRAL STAIRS)  
 RISERS - 190mm MAXIMUM, 115 mm MINIMUM.  
 GOING - 355mm MAXIMUM, 240mm MINIMUM.  
 PRIVATE STAIRS (& 250mm FOR PUBLIC STAIRS)  
 RISERS & TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT, PROVIDE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSING.  
 ENSURE MAXIMUM GAP BETWEEN RISERS DOES NOT EXCEED 125mm OR USE CLOSED RISERS.  
 PROVIDE CONTINUOUS HANDRAIL 1000mm MINIMUM HEIGHT TO BALCONIES & DECKS WHICH ARE 1000mm OR MORE ABOVE GROUND LEVEL.  
 865mm MINIMUM HEIGHT HANDRAIL ABOVE STAIR NOSING & LANDING.  
 MAXIMUM OPENING BETWEEN BALUSTRADE NOT TO EXCEED 125mm.
- GN19 - THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW & EXISTING STRUCTURES DURING ALL WORKS.
- GN20 - THE BUILDER SHALL ENSURE THE GENERAL WATER TIGHTNESS OF ALL NEW & EXISTING WORKS.

<b>AREAS:</b>	
<b>SITE AREA:</b>	<b>684m<sup>2</sup></b>
<b>DWELLING:</b>	<b>145.5m<sup>2</sup></b>
<b>DECKS:</b>	<b>24.4m<sup>2</sup></b>
<b>CARPOR:</b>	<b>18m<sup>2</sup></b>
<b>GARAGE:</b>	<b>42m<sup>2</sup></b>
<b>TOTAL:</b>	<b>229.9m<sup>2</sup></b>
<b>SITE COVERAGE</b>	<b>34%</b>

DESIGN WIND SPEED - N3  
 SOIL CLASSIFICATION - CLASS M  
 CLIMATE ZONE - 7

SHEET LIST	
Sheet #	Sheet Name
01	COVER
02	PROPOSED SITE PLAN
03	FLOOR PLAN
04	ELEVATIONS
05	ELEVATIONS
06	ROOF DRAINAGE PLAN
07	3D ELEVATIONS
08	SECTION DETAIL
09	SECTION II
10	WATERPROOF DETAILS
11	ELECTRICAL PLAN
12	GLAZING SCHEDULE
13	GLAZING SCHEDULE II



No.	Description	Date

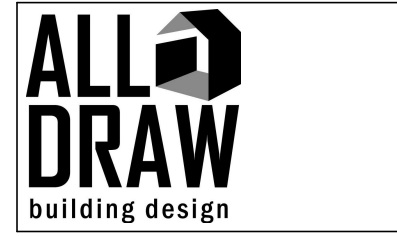
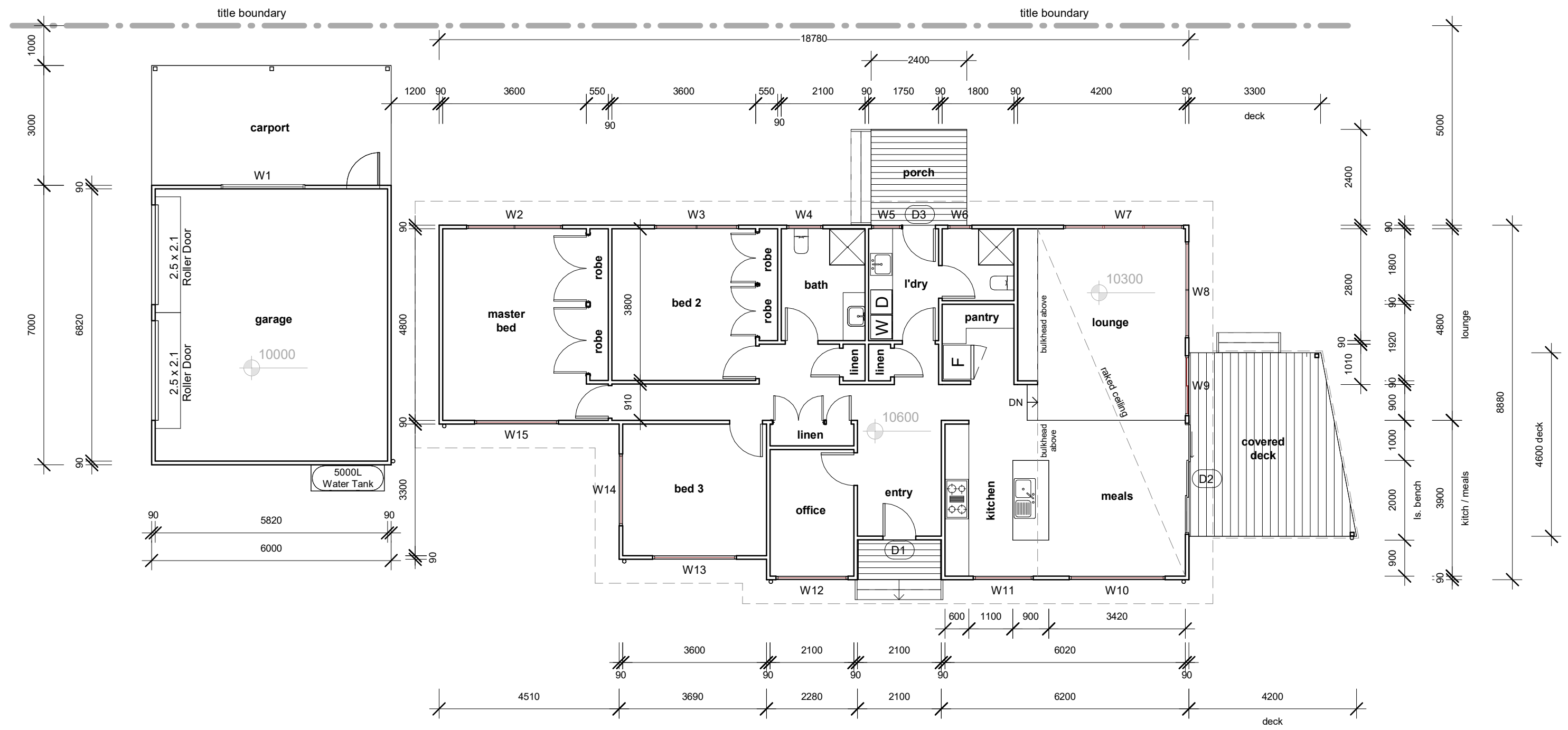
P: 0421 745 095  
 E: info@alldraw.com.au  
 I: www.alldraw.com.au  
 Licence # 911670743

Proposed Dwelling  
 2 Archie Crt, St.Helens

<b>COVER</b>		
Project number	1387	<b>01</b>
Date	27/05/2024	
Drawn by	JK	
Checked by	TO	
	Scale	



<b>AREAS:</b>	
DWELLING:	145.5m <sup>2</sup>
DECKS:	24.4m <sup>2</sup>
CARPOR:	18m <sup>2</sup>
GARAGE:	42m <sup>2</sup>
<b>TOTAL:</b>	<b>229.9m<sup>2</sup></b>



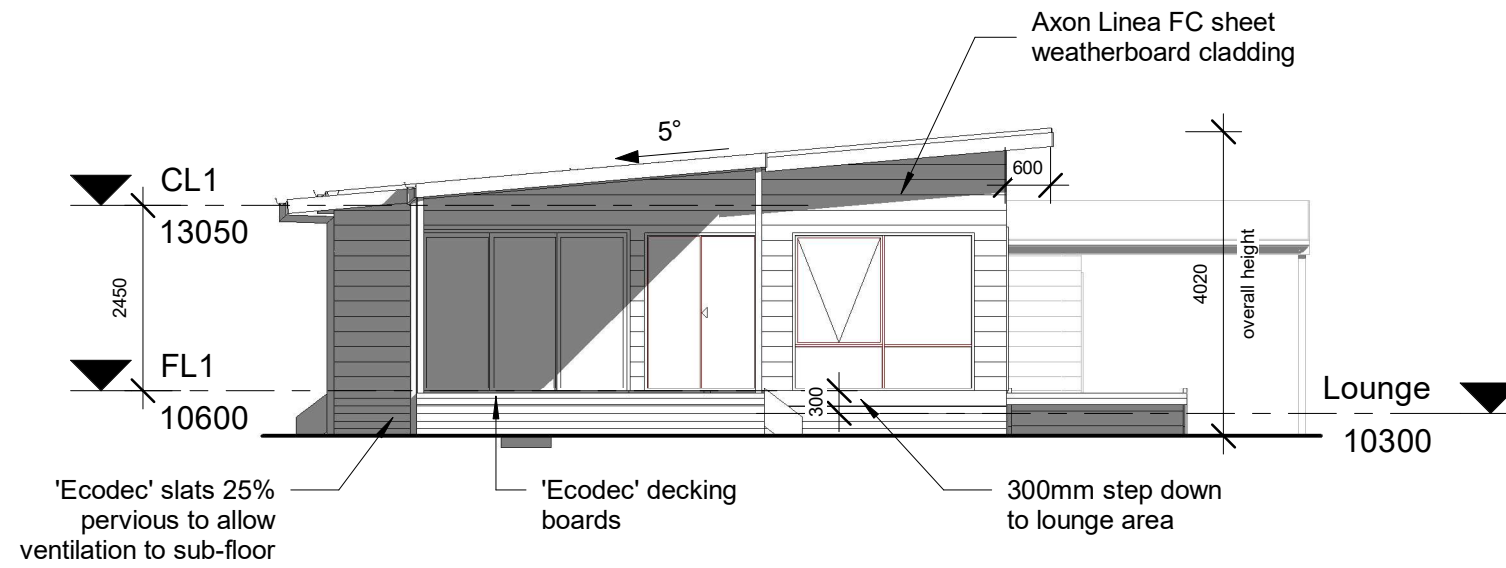
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No.	Description	Date

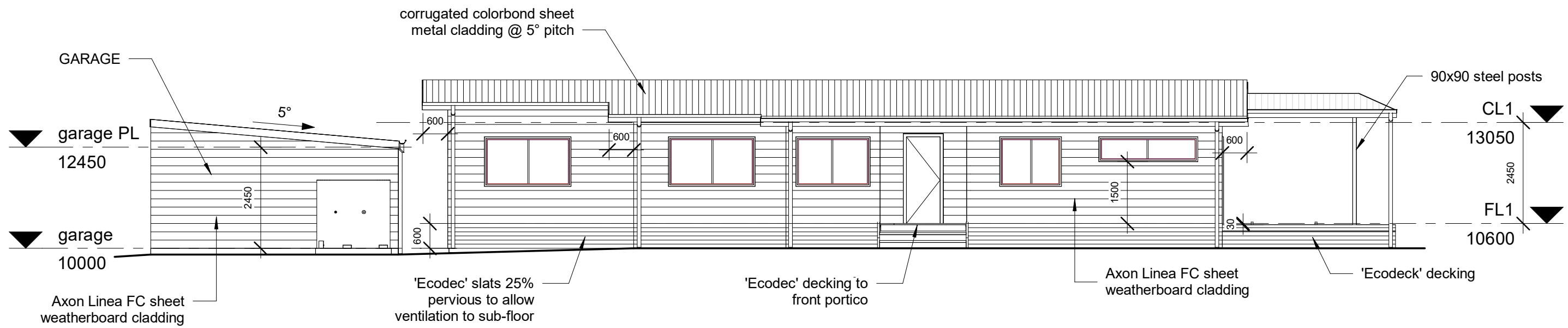
**Proposed Dwelling**  
**2 Archie Crt, St.Helens**

<b>FLOOR PLAN</b>		<b>03</b>
Project number	1387	
Date	27/05/2024	
Drawn by	JK	
Checked by	TO	Scale 1 : 100





**1 East Elevation**  
1 : 100



**2 South Elevation**  
1 : 100



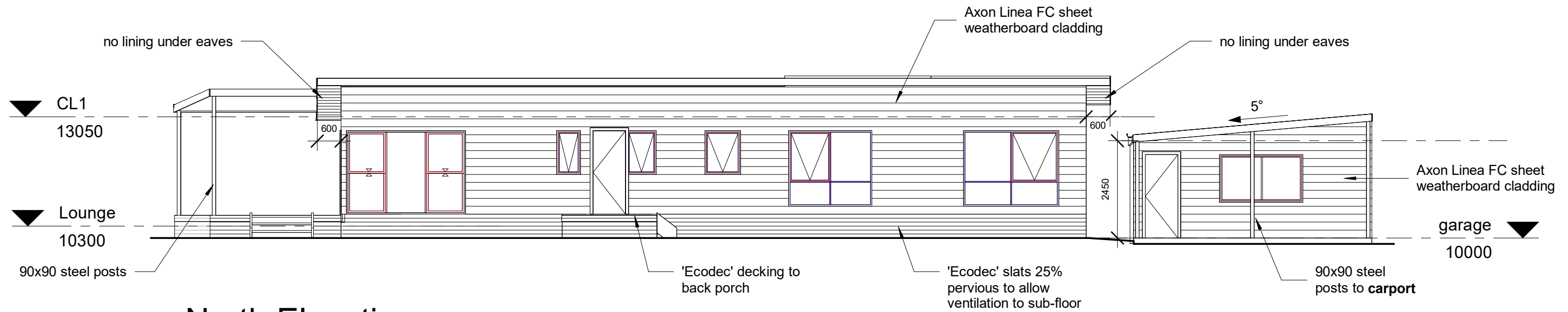
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I: www.alldraw.com.au  
Licence # 911670743

No.	Description	Date

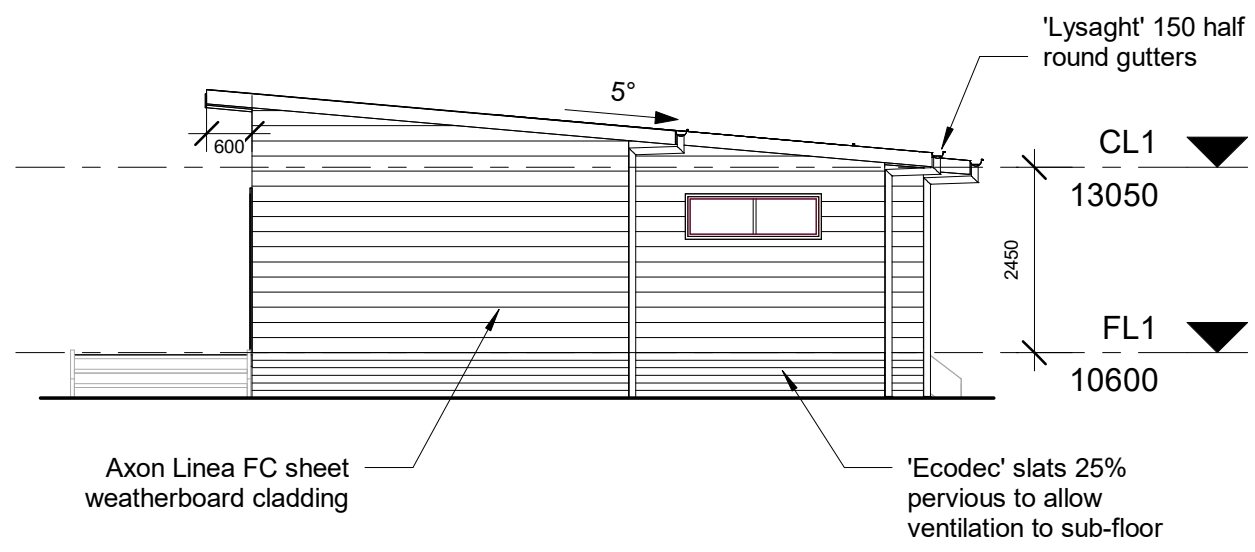
Proposed Dwelling  
2 Archie Crt, St.Helens

**ELEVATIONS**

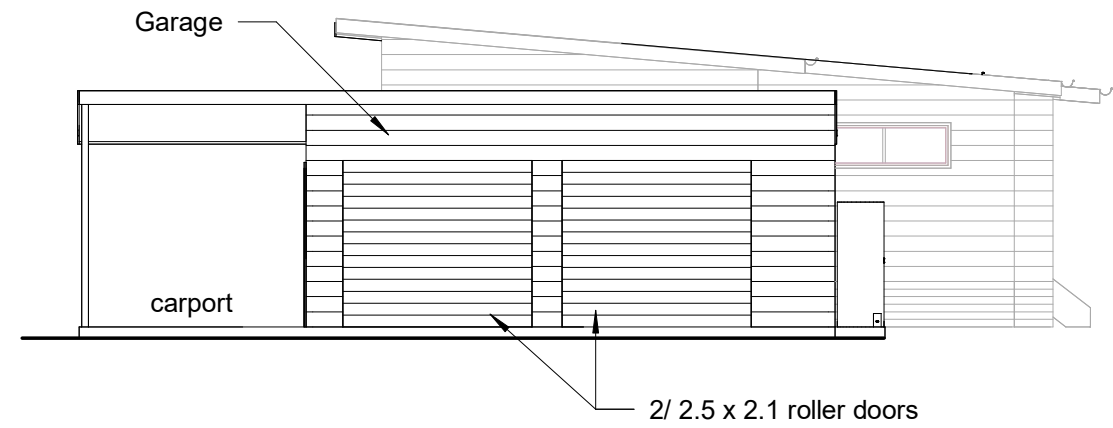
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Date	27/05/2024	
Drawn by	JK	
Checked by	DJ	
Scale		1 : 100



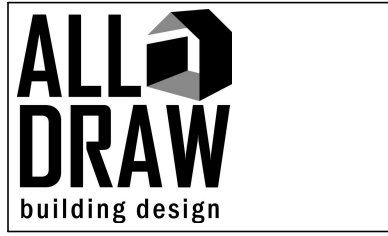
**1** North Elevation  
1 : 100



**2** West Elevation  
1 : 100



**3** West Garage Elevation  
1 : 100



No.	Description	Date

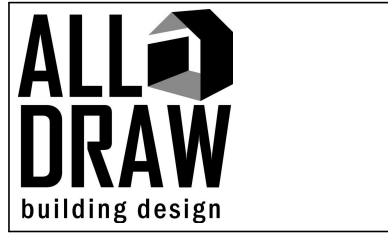
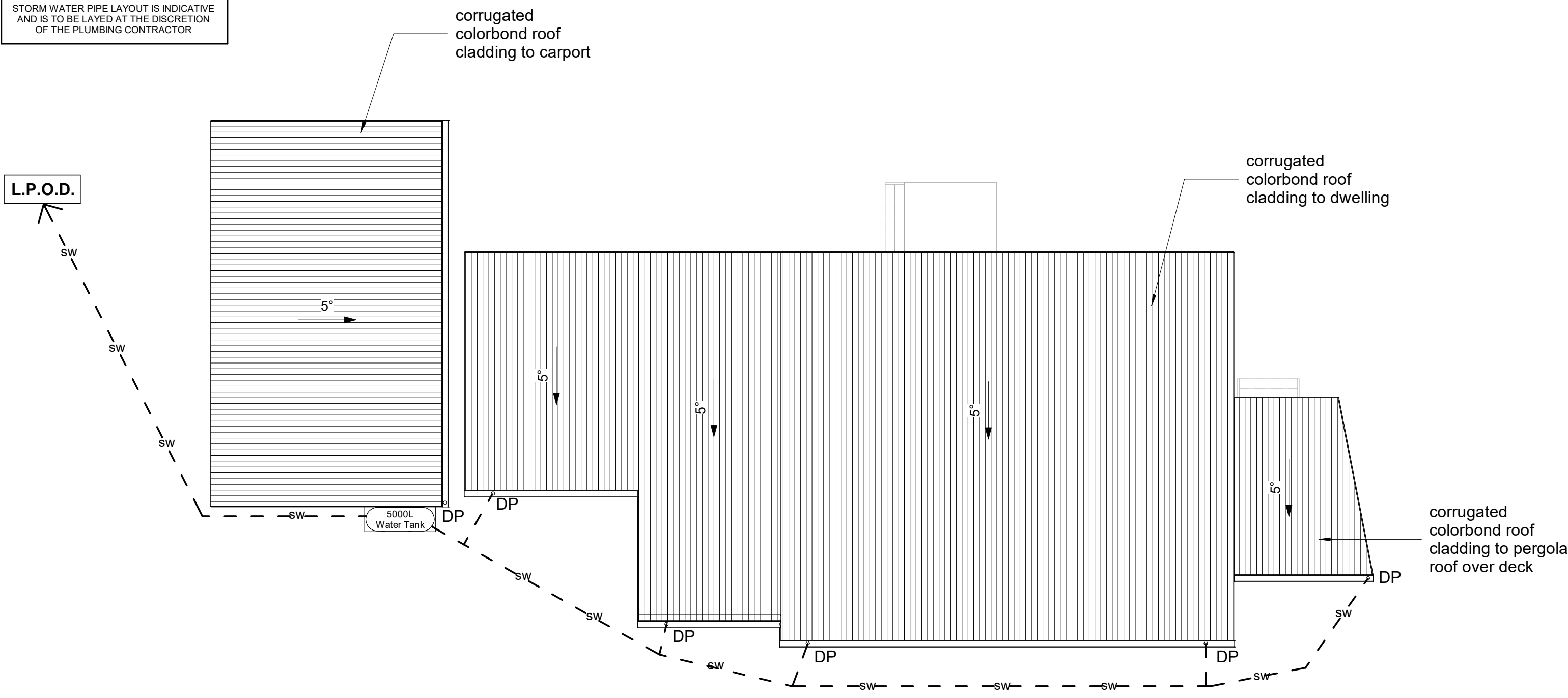
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Proposed Dwelling  
2 Archie Crt, St.Helens

ELEVATIONS		05
Project number	1387	
Date	27/05/2024	
Drawn by	JK	
Checked by	DJ	
Scale		1 : 100

ALL STORM WATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES' APPROVAL. THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM

STORM WATER PIPE LAYOUT IS INDICATIVE AND IS TO BE LAYED AT THE DISCRETION OF THE PLUMBING CONTRACTOR



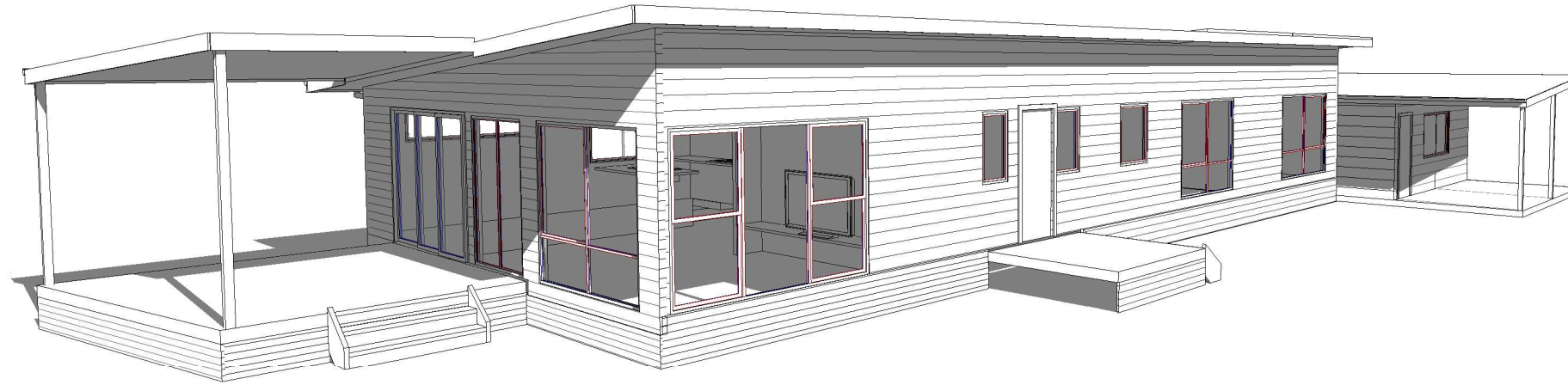
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No.	Description	Date

Proposed Dwelling  
 2 Archie Crt, St.Helens

ROOF DRAINAGE PLAN		06
Project number	1387	
Date	27/05/2024	
Drawn by	JK	
Checked by	DJ	
Scale		1 : 100

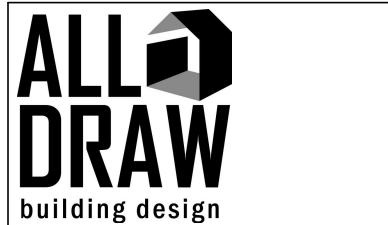
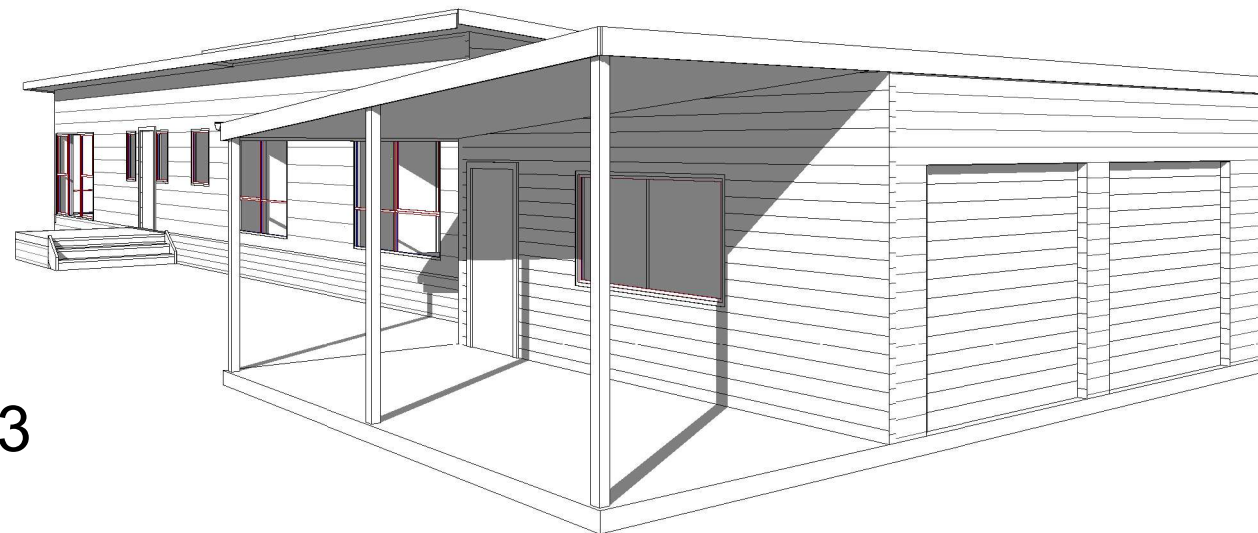
1 3D View 1



3 3D View 2



2 3D View 3



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No.	Description	Date

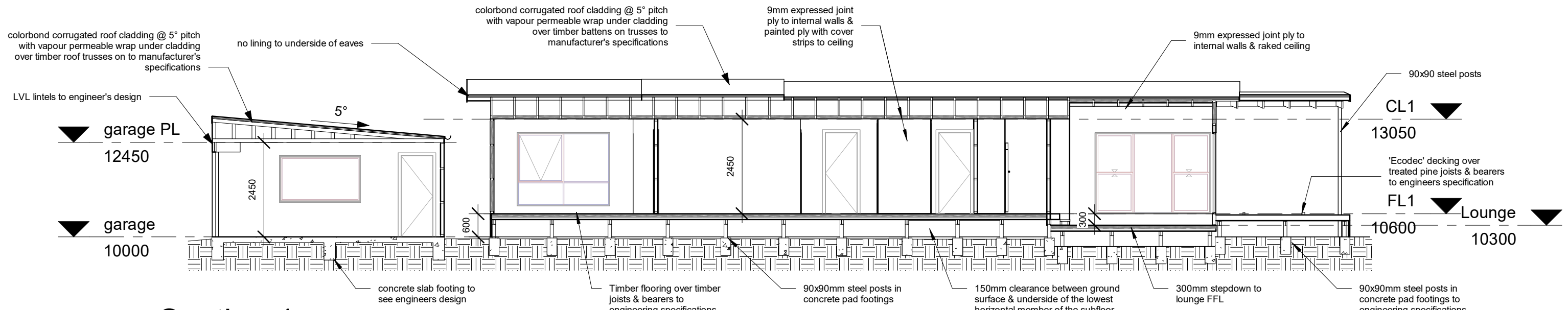
Proposed Dwelling  
 2 Archie Crt, St.Helens

3D ELEVATIONS		
Project number	1387	07
Date	27/05/2024	
Drawn by	JK	
Checked by	TO	
	Scale	

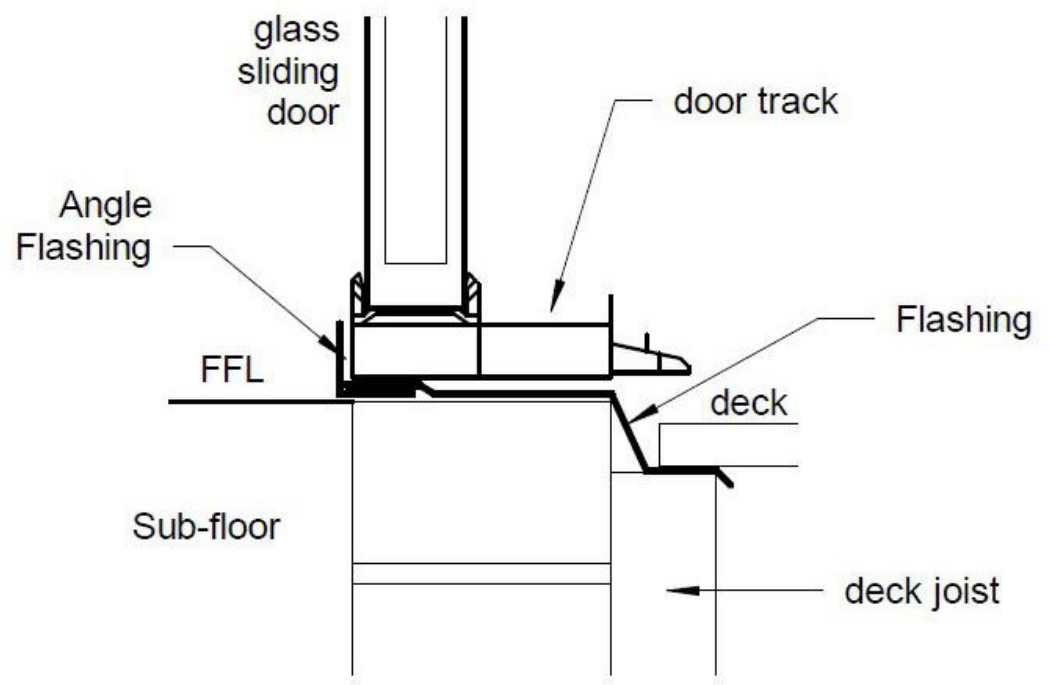


REFER TO ENGINEERING SPECIFICATIONS FOR ALL STRUCTURAL MEMBERS AND FOOTING DETAILS

Subfloor spaces must be provided with openings in external walls in accordance with NCC 3.4.1.1 for ventilation & have a minimum 150mm clearance between ground surface & underside of the lowest horizontal member of the subfloor.



**1** Section 1  
1 : 100



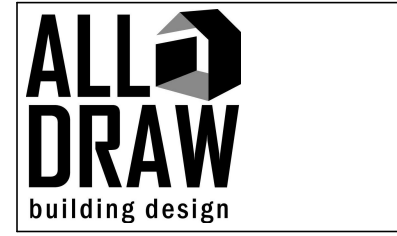
**ENTRY THRESHOLD DETAIL**  
NTS

**VENTILATION:**  
Subfloor spaces must be provided with openings in external walls in accordance with NCC 3.4.1.1 for ventilation & have a minimum 150mm clearance between ground surface & underside of the lowest horizontal member of the subfloor.

All stair treads must have a slip-resistant surface or slip-resistant nosing strip in accordance with BCA 3.9.1.1 & AS 4586

**WALL TILING:**  
All wall tiles to wet areas to be on a backing of waterproof plasterboard or fibrous cement villa board lining. Tiles 1800mm minimum above shower base and 150mm min. above sinks, basins, troughs & baths

FRAMING SCHEDULE (METAL ROOF)	
<b>WALL FRAMING</b>	
TOP AND BOTTOM PLATES	90 x 45 MGP10
STUDS AT 450 CENTRES	90 x 45 MGP10
<b>JAMB STUDS</b>	
OPENINGS UP TO 900	2/90 x 45 MGP10
OPENINGS UP TO 1810	2/90 x 45 MGP10
OPENINGS UP TO 2700	4/90 x 45 MGP10
OPENINGS UP TO 3600	4/90 x 45 MGP10
<b>LINTELS</b>	
OPENINGS UP TO 900	2/90 x 45 MGP10
OPENINGS UP TO 1450	2/140 x 45 MGP10
OPENINGS UP TO 1810	190 x 45 MGP10
OPENINGS UP TO 3600	2/240 x 45 MGP10
TIMBER FRAMING TO COMPLY WITH A.S. 1684 TIMBER FRAMING CODE & ANY SUPPLEMENTARY TABLES	



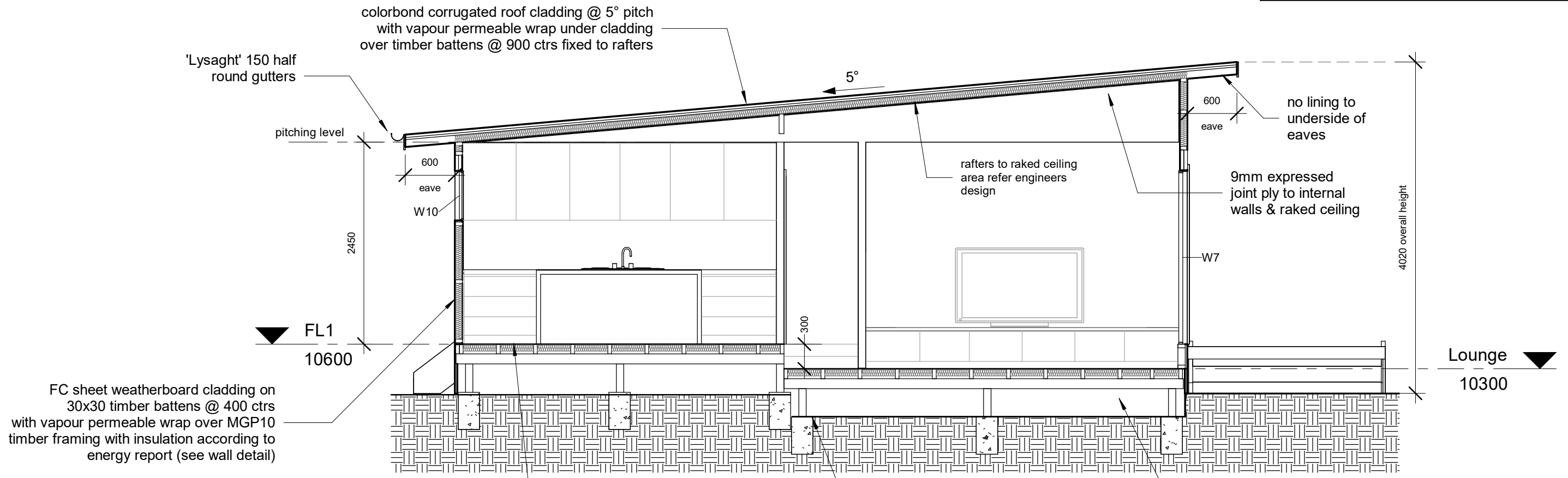
No.	Description	Date

Proposed Dwelling  
2 Archie Crt, St.Helens

SECTION DETAIL		08
Project number	1387	
Date	27/05/2024	
Drawn by	JK	
Checked by	DJ	
Scale		1 : 100

REFER TO ENGINEERING SPECIFICATIONS FOR ALL STRUCTURAL MEMBERS AND FOOTING DETAILS

Subfloor spaces must be provided with openings in external walls in accordance with NCC 3.4.1.1 for ventilation & have a minimum 150mm clearance between ground surface & underside of the lowest horizontal member of the subfloor.



**1** Section 2  
1 : 50

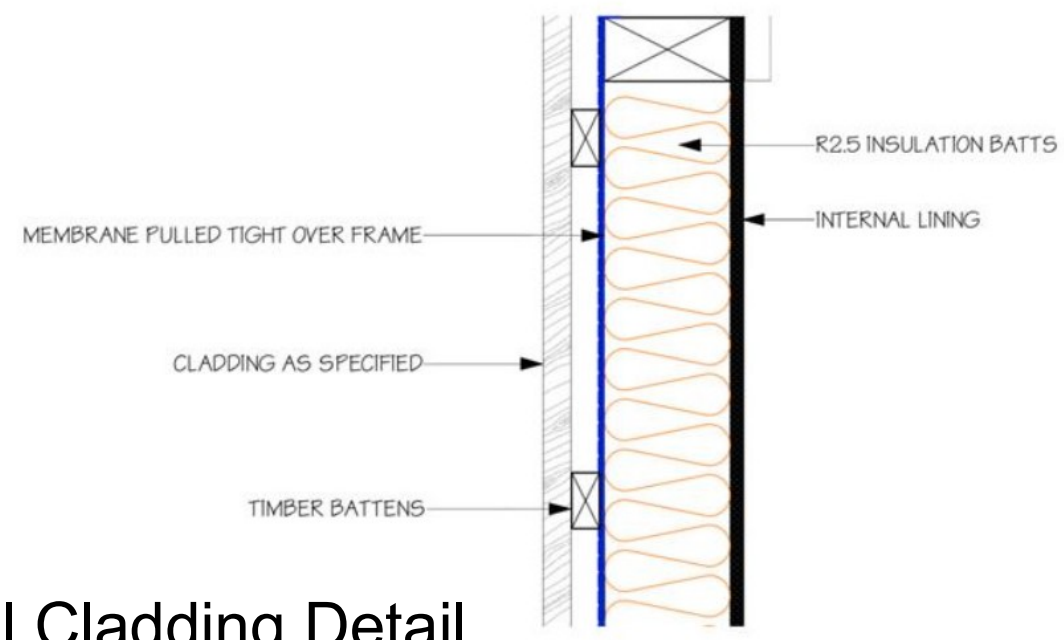
**VENTILATION:**  
Subfloor spaces must be provided with openings in external walls in accordance with NCC 3.4.1.1 for ventilation & have a minimum 150mm clearance between ground surface & underside of the lowest horizontal member of the subfloor.

All stair treads must have a slip-resistant surface or slip-resistant nosing strip in accordance with BCA 3.9.1.1 & AS 4586

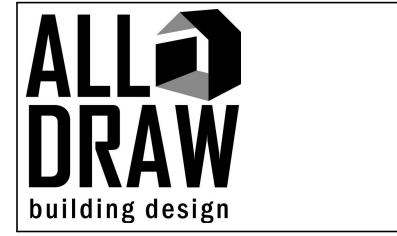
**WALL TILING:**  
All wall tiles to wet areas to be on a backing of waterproof plasterboard or fibrous cement villa board lining. Tiles 1800mm minimum above shower base and 150mm min. above sinks, basins, troughs & baths

Timber flooring over timber joists & bearers to engineering specifications  
90x90mm steel posts in concrete pad footings  
150mm clearance between ground surface & underside of the lowest horizontal member of the subfloor.

**Wall Cladding Detail**



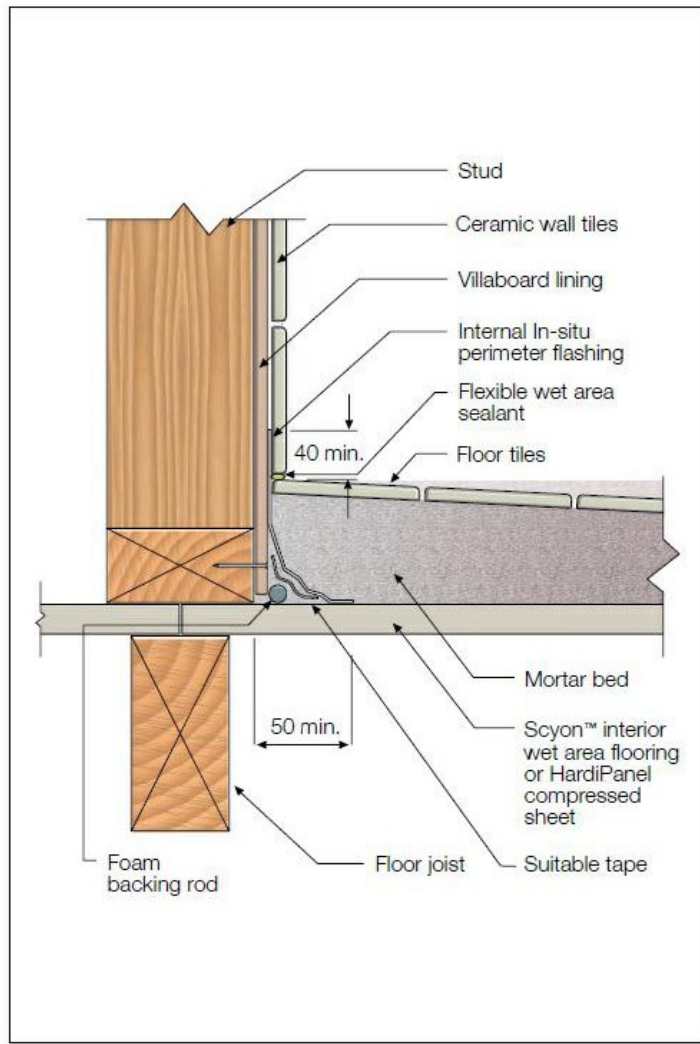
FRAMING SCHEDULE (METAL ROOF)			
WALL FRAMING			
TOP AND BOTTOM PLATES	90 x 45	MGP10	
STUDS AT 450 CENTRES	90 x 45	MGP10	
JAMB STUDS			
OPENINGS UP TO 900	2/90 x 45	MGP10	
OPENINGS UP TO 1810	2/90 x 45	MGP10	
OPENINGS UP TO 2700	4/90 x 45	MGP10	
OPENINGS UP TO 3600	4/90 x 45	MGP10	
LINTELS			
OPENINGS UP TO 900	2/90 x 45	MGP10	
OPENINGS UP TO 1450	2/140 x 45	MGP10	
OPENINGS UP TO 1810	190 x 45	MGP10	
OPENINGS UP TO 3600	2/240 x 45	MGP10	
TIMBER FRAMING TO COMPLY WITH A.S. 1684 TIMBER FRAMING CODE & ANY SUPPLEMENTARY TABLES			



No.	Description	Date

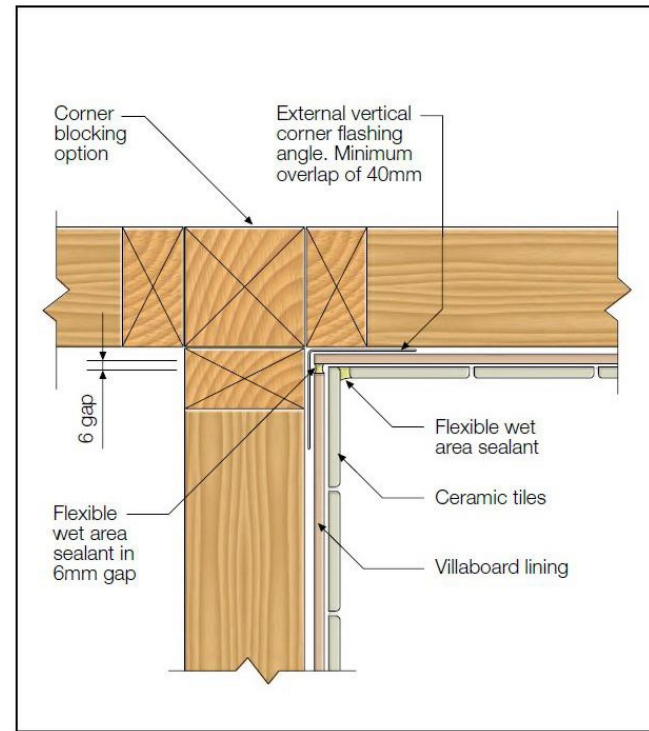
Proposed Dwelling  
2 Archie Crt, St.Helens

SECTION II			
Project number	1387	09	Scale 1 : 50
Date	27/05/2024		
Drawn by	JK		
Checked by	TO		



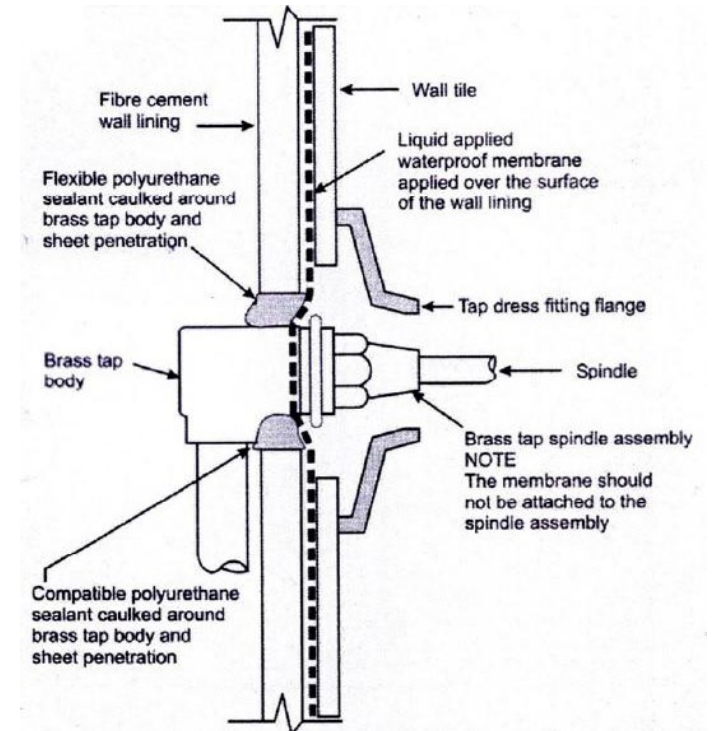
**WET AREA TILING DETAIL**

NTS



**CORNER FLASHING DETAIL**

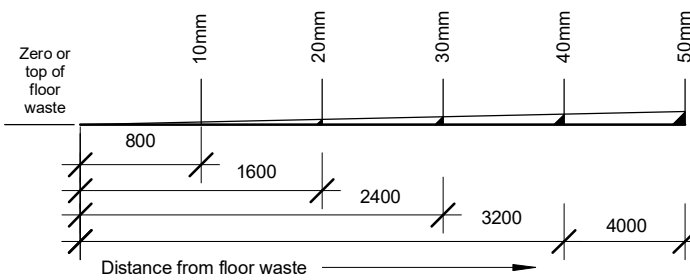
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**SPLASHBACK DETAIL**

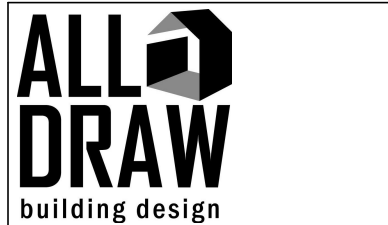
NTS

**WORKING WITH FALLS 1:80  
FLOOR TILING FOR SHOWER BATHROOM AREAS**



**WALL TILING:**

All wall tiles to wet areas to be on a backing of waterproof plasterboard or fibrous cement villa board lining. Tiles 1800mm minimum above shower base and 150mm min. above sinks, basins, troughs & baths



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No.	Description	Date

Proposed Dwelling  
2 Archie Crt, St.Helens

**WATERPROOF DETAILS**

Project number	1387	<b>10</b>
Date	27/05/2024	
Drawn by	JK	
Checked by	DJ	
Scale		1 : 50

THE LAMP POWER DENSITY OF ARTIFICIAL LIGHTING DOES NOT EXCEED:  
 5W/m<sup>2</sup> OF FLOOR AREA  
 4W/m<sup>2</sup> OF DECK AREA  
 3W/m<sup>2</sup> OF GARAGE AREA

**SMOKE DETECTORS**

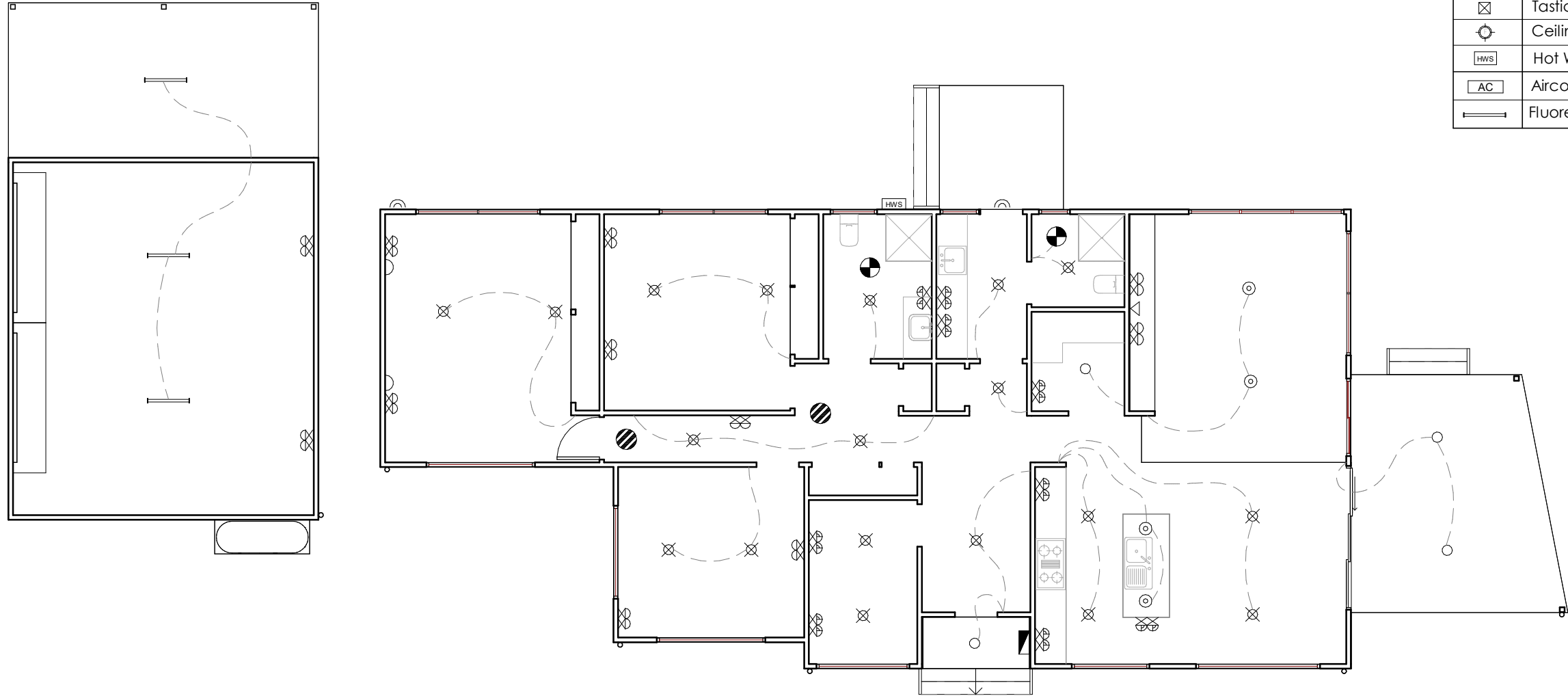
MUST COMPLY WITH AS 3786  
 BE INTER-CONNECTED & INSTALLED  
 IN ACCORDANCE WITH B.C.A PART 3.7.2

**EXHAUST FAN:**

EXHAUST VENTILATION FANS  
 ARE TO DISCHARGE  
 THROUGH TO OUTSIDE AIR OR  
 TO ROOF CAVITY

**ELECTRICAL LEGEND:**

Symbol	Description
○	Ceiling Light (20W)
⊗	L.E.D. Down Light (15W)
⊙	Pendant Light
∩	Wall Mounted Light (20W)
∪	External Sensor Light
⊗⊗	Double Power Point (300mm)
⊗⊗⊗	Double Power Point (1100mm)
⊗	Smoke Detector
▭	Meter Box
▷	Television Point
⊗	Exhaust Fan - Ceiling
⊗	Tastic Heat Lamp
⊗	Ceiling Fan + Light
HWS	Hot Water Service
AC	Aircon unit
—	Fluorescent Light - Single



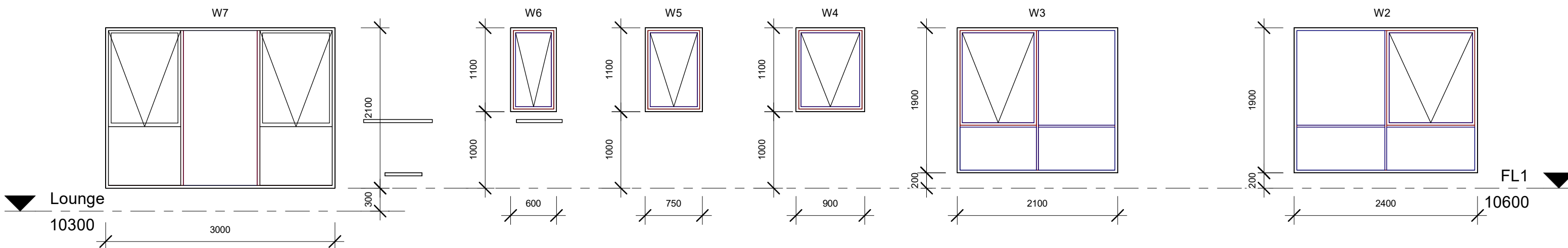
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 Licence # 911670743

No.	Description	Date

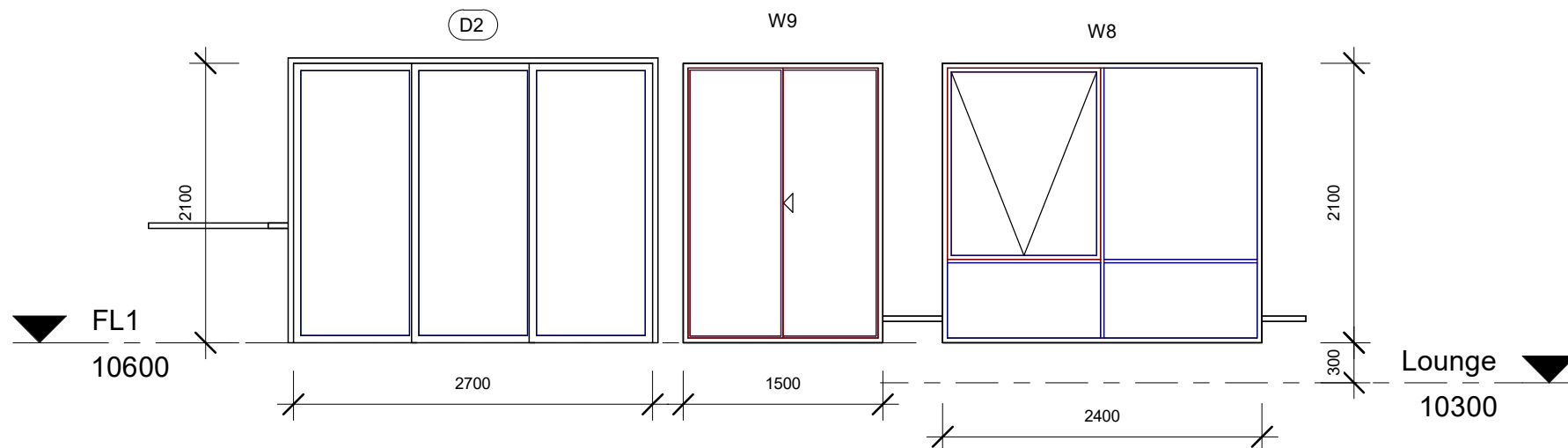
Proposed Dwelling  
 2 Archie Crt, St.Helens

ELECTRICAL PLAN		
Project number	1387	11
Date	27/05/2024	
Drawn by	JK	
Checked by	DJ	
Scale		1 : 100

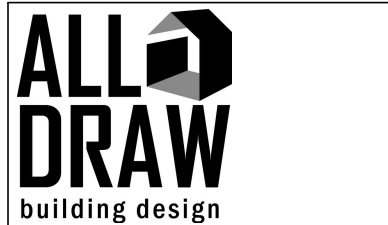
**NOTES:**  
 - ALL WINDOW FRAMES TO BE ALUMINIUM  
 - ALL WINDOWS TO BE DOUBLE GLAZED



**1** North Glazing  
 1 : 50



**3** East Glazing  
 1 : 50



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No.	Description	Date

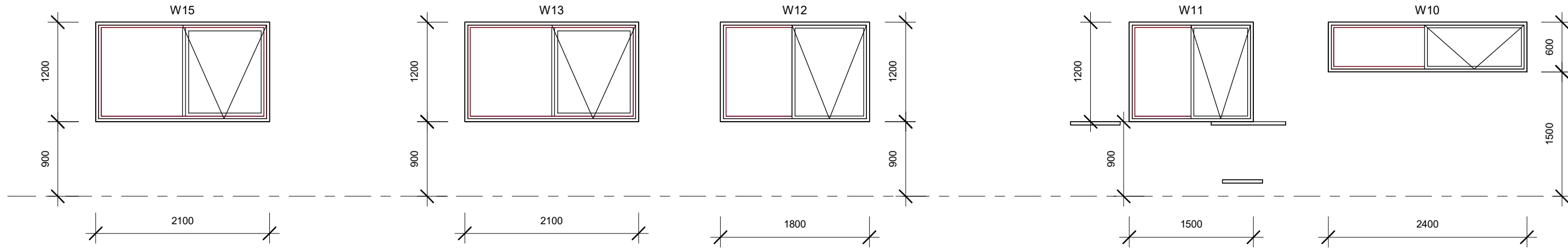
Proposed Dwelling  
 2 Archie Crt, St.Helens

**GLAZING SCHEDULE**

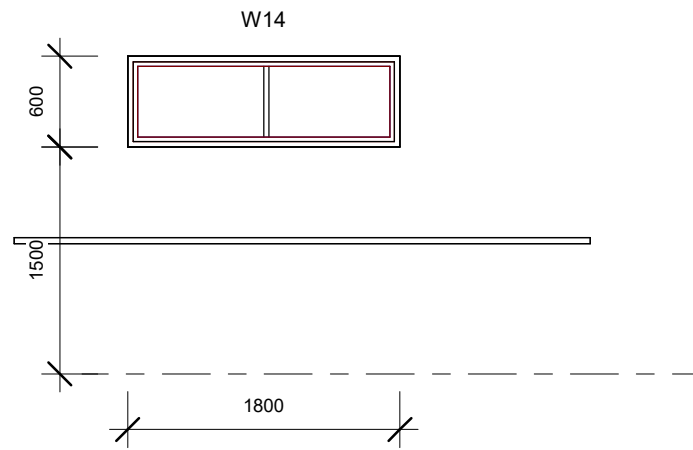
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Date	27/05/2024	
Drawn by	JK	
Checked by	DJ	
Scale		1 : 50



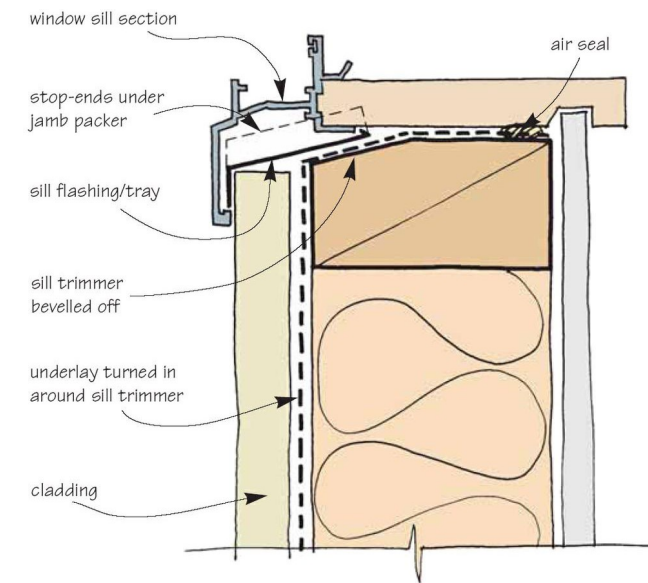
**NOTES:**  
 - ALL WINDOW FRAMES TO BE ALUMINIUM  
 - ALL WINDOWS TO BE DOUBLE GLAZED



**1 South Glazing**  
 1 : 50



**2 West Glazing**  
 1 : 50



**WINDOW SILL DETAIL**



P: 0421 745 095  
 E: info@alldraw.com.au  
 I: www.alldraw.com.au  
 Licence # 911670743

No.	Description	Date

Proposed Dwelling  
 2 Archie Crt, St.Helens

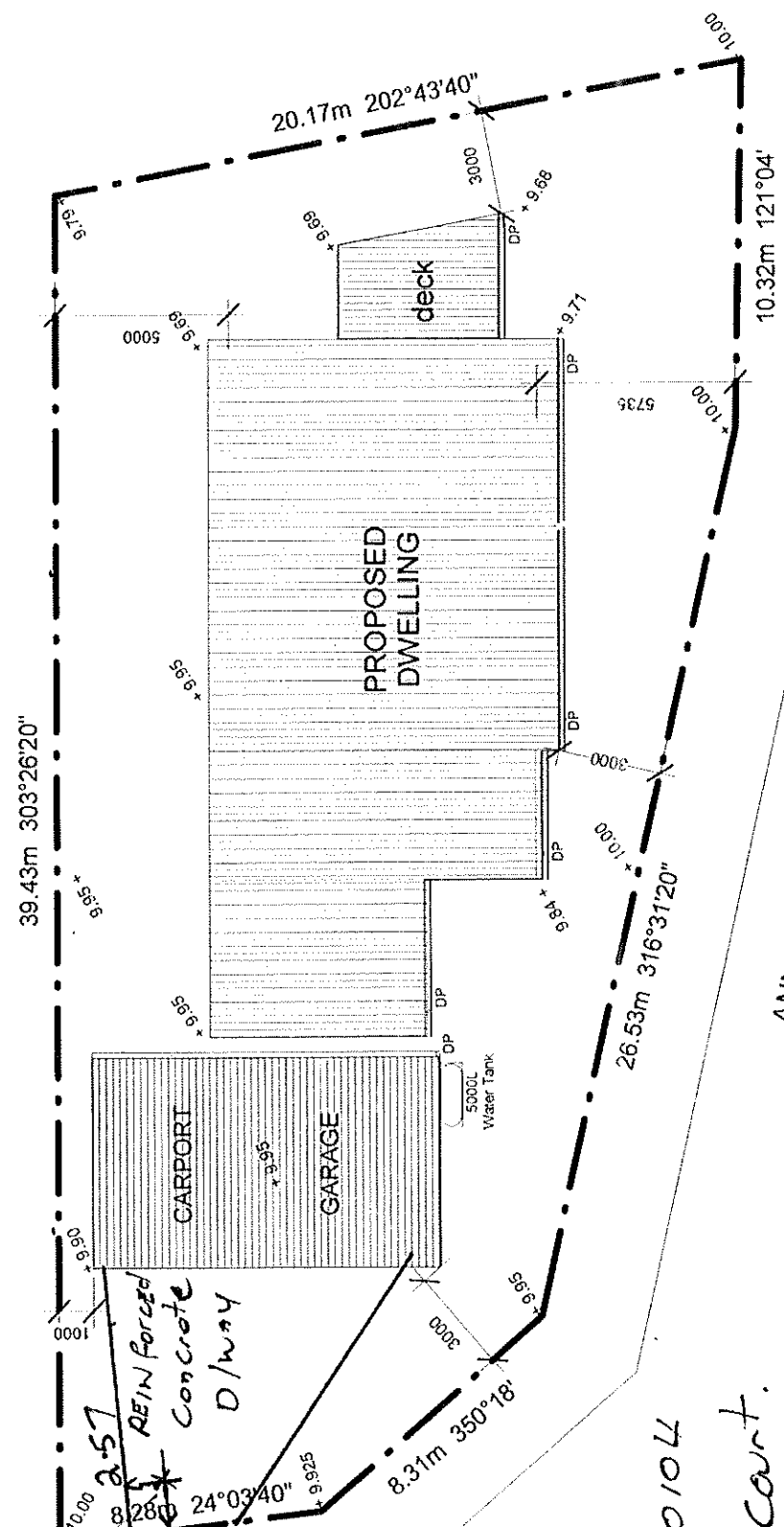
**GLAZING SCHEDULE II**

Project number	1387	<b>13</b>
Date	27/05/2024	
Drawn by	JK	
Checked by	DJ	
Scale		1 : 50

Stormwater  
 Corner Peg  
 Point

Datum RL: 10.00  
 corner survey peg

ARCHIE COURT



ANNABEL DRIVE

DA: 2024/00104  
 2 Archie Court.  
 S + HELEN C

**2 ARCHIE COURT - EXTERIOR FINISHES:**

ROOF: TRIMDEK COLORBOND STEEL WINDSPRAY

WALLS: HARDIE'S LINEA WEATHERBOARD - ACCENT COCONUT WHITE

TRIM: BLACK CAVIAR DULUX

WINDOWS: SHIELD AWNING DOUBLE GLAZED MATT BLACK

DECK: NUT OIL DULUX

GARAGE DOORS: COLOBOND WINDSPRAY

COMPACTED DRIVEWAY